

# Master Plan

HOLLY TOWNSHIP, OAKLAND COUNTY, MICHIGAN

Draft for Public Comment Period · April 4, 2024



# Acknowledgments

## HOLLY TOWNSHIP BOARD

George Kullis, Supervisor  
Karin S. Winchester, Clerk  
Jennifer Ryan, Treasurer  
Derek Burton, Trustee  
Steve Ruth, Trustee

## HOLLY TOWNSHIP PLANNING COMMISSION

Ryan Matson, Chair  
Glen Mitchell, Vice Chair  
Kelly Fletcher  
Ray Kerton  
Pam Mazich  
Mike McCanney  
Steve Ruth, Board of Trustees Liason

## TOWNSHIP STAFF

Karin S. Winchester, Zoning Administrator

## ASSISTED BY

McKenna

2024

# Table of Contents

|           |   |            |
|-----------|---|------------|
| <b>01</b> | <b>Introduction</b>   | <b>1</b>   |
|           | What is Planning?.....  | 2          |
|           | Purpose of the Holly Township Master Plan .....                       | 2          |
|           | How is the Plan to be Used? .....                                     | 5          |
|           | Selected Responses.....   | 8          |
|           | How is the Plan Organized?.....                                       | 12         |
| <b>02</b> | <b>Background Studies</b>   | <b>13</b>  |
|           | Location .....  | 14         |
|           | Population and Housing.....   | 24         |
|           | Economic Base.....  | 40         |
|           | Community Services.....   | 48         |
|           | Parks and Recreation .....  | 50         |
|           | Roadways.....   | 55         |
|           | Existing Land Use .....   | 59         |
| <b>03</b> | <b>Goals and Policies</b>   | <b>67</b>  |
|           | General Goals and Policies.....                                       | 68         |
|           | Specific Goal & Policy Guidelines.....                                | 70         |
| <b>04</b> | <b>Land Use Plan</b>  | <b>79</b>  |
|           | Future Land Use Plan.....   | 80         |
|           | Corridor and Subarea Plans.....                                       | 93         |
|           | Greenways Plan .....  | 110        |
|           | Action Items.....   | 133        |
|           | Smart Growth Strategies .....   | 133        |
|           | <b>Appendix</b>   | <b>139</b> |
|           | A. Survey Responses   |            |
|           | B. Potential Conservation / Natural Areas Report, Oakland County 2004 |            |
|           | C. Retail Gap Analysis  |            |

**LIST OF TABLES**

Table 1. Age of Survey Respondents ..... 7

Table 2. Housing Preference of Holly Township Residents ..... 7

Table 3. Population Trends ..... 24

Table 4. Age Characteristics ..... 26

Table 5. Race Composition ..... 28

Table 6. Housing Tenure, Median Rent, and Median House Value ..... 31

Table 7. Housing Types ..... 32

Table 8. Trade Area Population Projection ..... 34

Table 9. Characteristics of Housing Supply ..... 35

Table 10. Housing Tenure by Age of Householder ..... 35

Table 11. Units in Structure ..... 35

Table 12. Year of Construction for Units ..... 36

Table 13. Homeownership and Headship Rates ..... 37

Table 14. Demand Calculation Explanation ..... 37

Table 15. Estimated Homeowner/Renter Demand by Age Group – Holly Township ..... 37

Table 16. Estimated Homeowner/Renter Demand by Age Group – Trade Area ..... 37

Table 17. Estimated Housing Demand ..... 38

Table 18. Change in Housing Demand in Holly Township and Trade Area, 2020-2040 ..... 38

Table 19. Master Plan Build-Out Analysis ..... 39

Table 20. Projected Housing Capacity Used ..... 39

Table 21. Employment by Occupation for Residents ..... 40

Table 22. Major Employers in the Holly Community ..... 41

Table 23. Equalized and Taxable Value of Real and Personal Property ..... 42

Table 24. Equalized and Taxable Value of Real Property by Class ..... 42

Table 25. Means of Commuting to Work, Commute Time, and Place of Work for Residents ..... 42

Table 26. Targeted Emerging Sectors ..... 43

Table 27. Retail Gap Analysis ..... 47

Table 28. Recreational Facilities ..... 52

Table 29. Boat Launches ..... 52

Table 30. School Recreation Areas ..... 53

Table 31. Road Accidents ..... 57

Table 32. Existing Land Use in Acres ..... 61

Table 34. Future Land Use – Holly Township ..... 86

Table 35. Future Land Use – Village of Holly ..... 88

Table 36. Land Use Category / Zoning District Comparison ..... 91

**LIST OF FIGURES**

|           |  |    |
|-----------|--|----|
| Figure A. | Likes and Dislikes in Holly Township.....                        | 8  |
| Figure B. | Areas for Improvement in Holly Township.....                     | 9  |
| Figure C. | Public Input Mapping Comments.....                               | 11 |
| Figure D. | Regional Setting.....  | 14 |
| Figure E. | Population Trends – Holly Township and the Village of Holly..... | 24 |
| Figure F. | Population Trends – Oakland County.....                          | 25 |
| Figure G. | Population by Age.....   | 26 |
| Figure H. | Population with a Disability by Type.....                        | 27 |
| Figure J. | Percentage of Population with a Disability.....                  | 27 |
| Figure I. | Percentage of Population with a Disability over 65.....          | 27 |
| Figure L. | Education Attainment for Population Aged 25 and Over.....        | 28 |
| Figure K. | Percentage of Population Identifying as Hispanic or Latino.....  | 28 |
| Figure M. | Median Household Income.....                                     | 29 |
| Figure N. | Percent Families under Economic Hardship.....                    | 29 |
| Figure O. | Unemployment.....  | 29 |
| Figure P. | Owner Occupied Housing.....                                      | 30 |
| Figure Q. | Age of Housing Stock.....  | 31 |
| Figure R. | Housing Types.....   | 32 |
| Figure S. | Housing Trade Area.....  | 34 |
| Figure T. | Employment by Industry.....                                      | 41 |
| Figure U. | Oakland County Emerging Sector Program Success Diagram.....      | 44 |
| Figure V. | Grand Blanc Township Technology Village Illustrative Plan.....   | 45 |
| Figure W. | Existing Land Use.....   | 59 |
| Figure X. | Changes in Acreage.....  | 62 |
| Figure Y. | Future Land Use, Village of Holly.....                           | 88 |

**LIST OF MAPS**

|         |   |     |
|---------|---|-----|
| Map 1.  | Michigan Natural Features Inventory (MNIF)..... | 17  |
| Map 2.  | Woodlands.....                                  | 18  |
| Map 3.  | Wetlands.....                                   | 20  |
| Map 4.  | Watersheds.....                                 | 22  |
| Map 5.  | Topography.....                                 | 23  |
| Map 6.  | Recreation Lands.....                           | 54  |
| Map 7.  | Functional Classification.....                  | 56  |
| Map 8.  | Existing Land Use.....                          | 64  |
| Map 9.  | Soil Suitability.....                           | 66  |
| Map 10. | Future Land Use.....                            | 87  |
| Map 11. | Future Land Use, Village of Holly.....          | 89  |
| Map 12. | Future Land Use Overlay Zoning.....             | 92  |
| Map 13. | Master Rights-of-Way.....                       | 109 |
| Map 14. | Greenways Plan.....                             | 115 |
| Map 15. | Trails and Pathways.....                        | 116 |
| Map 16. | Green Infrastructure.....                       | 118 |
| Map 17. | Safety Path Master Plan.....                    | 120 |

intentionally left blank

# 01.

## Introduction

This document represents the revision and update of the Holly Township Master Plan, first adopted in 1977, and again in 1998, 2003, 2009, and 2016. Since adoption of the original plan and the subsequent revisions, a number of changes have occurred both within the Township and the surrounding area. To ensure that development policies reflect current conditions in the Township, it is essential that the Master Plan is periodically evaluated and kept up to date. The Holly Township Master Plan presented here excludes the incorporated Village of Holly, which is responsible for adopting a separate master plan.

# What is Planning?

Planning is a process which involves the conscious selection of policy choices relating to land use, growth and development in the community. The Master Plan is the only official Township document that sets forth policies for the future of the community.

The Township derived its authority for the preparation of a Master Plan from the Michigan Planning Enabling Act, P.A. 33 of 2008. Section 31 of the Act states:

1. “A Planning Commission shall make and approve a Master Plan as a guide for development within the planning jurisdiction.
2. In the preparation of a Master Plan, a planning commission shall do all of the following, as applicable:
  - a) Make careful and comprehensive surveys and studies of present conditions and future growth within the planning jurisdiction with due regard to its relation to neighboring jurisdictions.
  - a) Consult with representatives of adjacent local units of government in respect to their planning so that conflicts in master plans and zoning may be avoided.
  - a) Cooperate with all departments of the state and federal governments and other public agencies concerned with programs for economic, social, and physical development within the planning jurisdiction and seek the maximum coordination of the local unit of government’s programs with these agencies.”

# Purpose of the Holly Township Master Plan

The purpose of the Holly Township Plan is not merely to comply with the minimum requirements of the Michigan Planning Enabling Act, Public Act 33 of 2008, but to tell the story of the Township’s past, present, and future. The Holly story is unique in how it weaves the shared values of the community in and through its recommendations and policies. The story starts with an explanation of how the Township got to where it is today and how that journey has positioned the Township for what it can be tomorrow.

Holly is a community that has a rich agricultural history, unique development patterns and influences, abundant natural features and open space. Located in northwest Oakland County it truly feels like “up north”. In addition to the many natural, historical and cultural assets and amenities offered in the Township, the community is ideally situated to take advantage of regional access via I-75, and institutional facilities located in the surrounding communities.

The Holly Township Master Plan is based on the hopes, dreams, concerns, and ideas of those community members that live, work, and play in Holly. These hopes, dreams, concerns, and ideas represent the values shared by the community and make up the Tenets of the Holly Township Master Plan.



# Holly Township Plan Tenets

## DIVERSITY

Diversity can be defined, for purposes of the 2024 Holly Township Plan, as the distinction of characteristics, qualities, or elements of the Township. The support of this diversity can foster imagination and entrepreneurial initiatives. For Holly, diversity will be achieved in two main forms -our built environment and the residents that inhabit that environment. Diversity in our built environment will apply to the function, style, and use, while resident diversity will apply to characteristics such as ethnic origin, age, income, gender, and physical ability.

A community that is diverse encourages ownership, actual or perceived, of civic and private amenities. This ownership will evolve into a rich and vibrant place to live, work, and play while at the same time position the Township to attract business and investment to increase economic stability.

## ECONOMIC VITALITY

Economic vitality will be achieved in Holly when all industry sectors are viable and working together toward a shared vision. Holly is an attractive draw for future businesses and residents based on its residents and location. The Township will not take this for granted and will continue to support economic growth and development. For Holly, this support will come by ensuring that a sustainable return on economic investment takes into consideration the impact that growth and development has on its surroundings.

To maintain a vital marketplace it is imperative that development be located in areas of the Township that can provide the necessary infrastructure to support such development. New development must be planned and designed to encourage additional development and not discourage people from living or businesses from locating in the Township.

## A SENSE OF TIME AND PLACE

Understanding how Holly came to must be remembered, embraced and celebrated. Moments of accelerated growth in the Township can and have caused destruction of natural and historical resources that are often realized too late. The 2024 Holly Township Plan must protect resources still present in the Township and reveal the history of those that have been lost while at the same time responding to the needs of the present and future. Continuity throughout the past, present, and future is of extreme value. By valuing this sense of time and place, Holly recognizes the importance of each moment in time and how that reflects on the Township's identity.

## IDENTITY

A unified Holly identity will not be achieved in name or slogan alone. Holly's identity will be shaped by land use, celebration of culture and history, and by creating a "there" there. Holly must strive not to become a collection of homogeneous buildings, roadways, and signs that say they offer variety, but to truly offer choices to residents, businesses and visitors. Through the variety of the Township's landscape and the vision of its residents, Holly will create its identity.

## ENVIRONMENTAL PROTECTION

Holly Township's natural environment (open space, wetlands, waterways, woodlands, animal habitat) provides the framework upon which the Township was developed. This framework has also established much of the Township's current identity and provides options for residents and visitors to connect with the outdoors and enhance their quality of life. For the Holly Township Plan, future environmental protection will be achieved from not only preservation of existing resources, but through the enhancement and celebration of those resources. Protection of these resources provides the Township with the opportunity to connect all areas of the community and link them with a common theme.

## SUSTAINABILITY

Sustainability is an important concept in land use planning. Some use the term to describe environmental initiatives, but according to the United Nations Commission on Sustainable Development, sustainability is defined more broadly to mean, “meeting the needs of the present without compromising the ability of future generations to meet their own needs.” This concept is intended to encompass not only environmental concerns, but also economic and social.

Sustainability is more than just environmental initiatives or green building regulations. Sustainability at the full community level involves providing current and future generations the choices that will result in people choosing to remain in or relocate to Holly Township.

The ICLEI - Local Governments for Sustainability is a worldwide organization that promotes education and awareness of sustainability issues. They suggest that, “Sustainability is not an end goal, but a journey that local governments can take to improve the social equity, environmental, and economic conditions in their jurisdiction.”

In June 2009, the Department of Housing and Urban Development, Department of Transportation, and the Environmental Protection Agency created sustainability policies that acknowledge the balance needed between housing, transportation, and the environment. Their “livability principles” are a good place to start as Holly Township develops its own livability principles:

- » **Provide more transportation choices.** Develop safe, reliable, and economical transportation choices to decrease household transportation costs, reduce our nation’s dependence on foreign oil, improve air quality, reduce greenhouse gas emissions, and promote public health.
- » **Promote equitable, affordable housing.** Expand location- and energy-efficient housing choices for people of all ages, incomes, lifestyles, races, and ethnicities to increase mobility and lower the combined cost of housing and transportation.
- » **Enhance economic competitiveness.** Improve economic competitiveness through reliable and timely access to employment centers, educational opportunities, services and other basic needs by workers, as well as expanded business access to markets.

- » **Support existing communities.** Target federal funding toward existing communities—through strategies like transit oriented, mixed-use development, and land recycling—to increase community revitalization and the efficiency of public works investments and safeguard rural landscapes.
- » **Coordinate and leverage federal policies and investment.** Align federal policies and funding to remove barriers to collaboration, leverage funding, and increase the accountability and effectiveness of all levels of government to plan for future growth, including making smart energy choices such as locally generated renewable energy
- » **Value communities and neighborhoods.** Enhance the unique characteristics of all communities by investing in healthy, safe, and walkable neighborhoods—rural, urban, or suburban.

As Holly Township begins the master planning process, it will be important to assess economic, social, and environmental conditions in the community. While many communities find that the conditions and trends relating to the environment, economy, and society are unsustainable, achieving sustainability is an incremental process, not an overnight transformation.

## CONNECTIVITY

Physical connections will be accomplished in Holly through the use of roadways, pathways, greenways, open space, sidewalks, and public transportation. Providing residents, workers, and visitors with viable options to get from one destination to another in the Township and the region is an immeasurable value to the future success of the Township. Land use and transportation must be planned in concert with one another to ensure that the connections we provide are designed to make humans comfortable while at the same time meet the needs of our automobile centered society.



## FUN

Fun is defined as something that provides amusement. Something that is considered fun for one individual may not be considered fun for another. Nevertheless, a community that provides activities and places for people to have fun improves the quality of life for its residents. Holly will be a place that residents, visitors, and workers want to live, work and play only if there are places or activities that bring enjoyment. Fun opportunities will be achieved in Holly through both active and passive leisure and recreation facilities including the celebration of history and culture, incorporation of active parks, walkways, shopping areas, public art and civic events.

## STRONG LEADERSHIP

The leadership of a community (elected and appointed) has the responsibility to plan for and implement the vision of its constituents. Change is not easy and the decisions that leaders must make to foster change can be difficult to say the least. Holly's leaders acknowledge this and will strive to create future policy that implements the vision set forth in the Holly Master Plan.

For many years, the Holly story has been buried under the pressure of a growing community trying to discover its potential and what it is supposed to be in the context of Oakland County, Southeast Michigan and beyond. Through this community based planning process, Holly has found its voice and has identified its future potential in the 2024 Holly Township Plan.

# How is the Plan to be Used?

The plan serves many functions and is to be used in a variety of ways:

1. The Plan is a general statement of the Township's goals and policies and provides a single, comprehensive view of the community's desire for the future.
2. The Plan serves as an aid in daily decision-making. The goals and policies outlined in the Plan guide the Planning Commission and Township Board in their deliberations on zoning, subdivision, capital improvements and other matters relating to land use and development. This provides a stable, long-term basis for decision-making.
3. A third function the plan serves is providing the statutory basis upon which zoning decisions are based. The Michigan Zoning Enabling Act (P. A. 110 of 2006, as amended) requires that the zoning ordinance be based upon a plan designed to promote the public health, safety and general welfare. However, it is important to note that the Master Plan and accompanying maps do not replace other Township Ordinances, specifically the Zoning Ordinance and Map. Zoning is only one of the many legal devices used to implement the Master Plan.
4. The Plan attempts to coordinate public improvements and private development. For example, public investments such as road improvements should be located in areas identified in the Plan as having the greatest benefit to the Township and its residents.
5. Finally, the plan serves as an educational tool and gives citizens, property owners, developers, and adjacent communities a clear indication of the Township's direction for the future.

In summation, the Township Master Plan is the only officially adopted document that sets forth an agenda for the achievement of goals and policies. The plan is not a panacea for the numerous conflicting desires of citizens and Township officials. It is a long-range statement of general goals and policies aimed at unified and coordinated development of the Township. As such, it provides the basis upon which zoning and land use decisions are made.

# History of Public Input in Holly Township Planning

Citizen input is the core of any planning effort. In order for the goals of the plan to be achievable, general consensus regarding the vital issues to the community must be reached. One technique used to facilitate the gathering of citizen input is to conduct a Visioning Workshop. The goal of conducting Visioning Workshops is to attempt to gather citizen input on a variety of topics and to encourage conceptualization of a desired future for the community. The visioning process provides a vehicle for people of diverse viewpoints to identify and agree upon the common dreams they have for their community, and encourages people to express with words a desired future.

The Township held a Visioning Workshop in September 1997. Various groups were invited to attend including representatives from churches, schools neighborhood associations, homebuilders associations, Greenway groups, county representatives and major landholders. In addition, flyers were distributed and a public notice placed in the paper to invite residents. Approximately 35 people attended the workshop, including interested citizens, Township officials, and others interested in future planning for the Township. The Workshop started with a brief overview of the evening's agenda and a presentation of the role of Visioning in the Master Planning process. After this introduction, participants were randomly assigned a small group, each of which addressed the following three topics: 1) Overall Community Character, 2) Land Use and Infrastructure, and 3) Natural Resource Preservation and Recreation. The small groups, entitled "break out groups", were facilitated by Planning Commissioners. The facilitators generated and guided the discussion, and recorded vision statements. The groups brainstormed vision statements regarding the future of the community based upon the following principles:

- » Visions should generate new and bold ideas for the future
- » All ideas and visions are welcome
- » No ideas or visions will be criticized
- » Participation from all is encouraged

Following the above principles, each group generated lists of vision statements that reflected individual ideas regarding the various topics. After brainstorming, each group was asked to vote on the top five statements, deemed "Priority Vision Statements." After each group voted, the larger group reconvened and a representative from each group presented the "Priority Vision Statements" from their group. The large group was then asked to vote on all the "Priority Vision Statements" from all five groups. Overall, concerns regarding the preservation of natural features and the rural character of the Township were prevalent themes. The vision statements generated that evening have assisted the Planning Commission in formulating the goals and policies of the Master Plan.

The 2024 Master Plan represents an update to the 2016 Master Plan that incorporates new information on development trends and demographics and an emphasis on implementation strategies.

# 2023 Public Input Summary

An online and paper survey was made available to receive resident feedback on the benefits and concerns of living in Holly Township. The survey was advertised through flyers sent to residents and on social media posts from Township staff. Township staff received responses from 281 respondents during the survey period. All survey responses received are included in this plan as Appendix A.

Survey respondents belonged to all age groups, but the largest age groups were those 65 years or older (26.84%) and 45 to 54 years of age (23.16%). Given the median age of Holly Township is 41.1, this indicates that older residents are overrepresented in the responses and may affect the survey results.

## SELECTED RESPONSES

The survey contained general questions about current conditions in Holly Township and what respondents liked or disliked about some of these current conditions. The top responses for these questions are included in this section, while full survey responses can be seen in Appendix A.

### What type of home do you currently live in? What type of home do you want to live in 10 years from now?

The majority of the Township's residents live in single family homes, and would like to remain in that type of housing 10 years from now. However, there is a noticeable increase in residents who would like to live in Townhomes, Attached Condos, Independent Living Facilities, and Assisted Living Facilities. As the Township plans for growth in population and in return, housing, there must be consideration given to diversifying housing types to meet the needs of current and future residents.

Additionally, it should be noted that this question does not capture the preferences of people who do not currently live in Holly Township but want to move to Holly Township. The survey was available to people outside the Township but was not actively advertised. Eleven answers were received from outside the Township, and there is a strong likelihood that these answers were from people living in the Village of Holly, which is located within the Township. Based on the demographic data collected as a part of this survey, this response captures the preferences of people over 45 who currently live in Holly Township.

**Table 2. Housing Preference of Holly Township Residents**

|                | Stand-alone house | Duplex | Townhome | Attached condo | Apartment | Mobile Home | Living Facility |          | Other |
|----------------|-------------------|--------|----------|----------------|-----------|-------------|-----------------|----------|-------|
|                |                   |        |          |                |           |             | Independent     | Assisted |       |
| Today          | 90.39%            | 1.07%  | 0.36%    | 3.91%          | 0.36%     | 3.20%       | 0.00%           | 0.00%    | 0.71% |
| 10 Years Later | 83.99%            | 1.07%  | 1.42%    | 4.27%          | 0.71%     | 0.71%       | 4.27%           | 0.71%    | 2.14% |

**Table 1. Age of Survey Respondents**

| Age              | Number of Respondents | Percentage of Respondents |
|------------------|-----------------------|---------------------------|
| Under 18 years   | 1                     | 0.37%                     |
| 18 to 24 years   | 4                     | 1.47%                     |
| 25 to 34 years   | 27                    | 9.93%                     |
| 35 to 44 years   | 52                    | 19.12%                    |
| 45 to 54 years   | 63                    | 23.16%                    |
| 55 to 64 years   | 52                    | 19.12%                    |
| 65 years or more | 73                    | 26.84%                    |

## What do you like and dislike about Holly Township today?

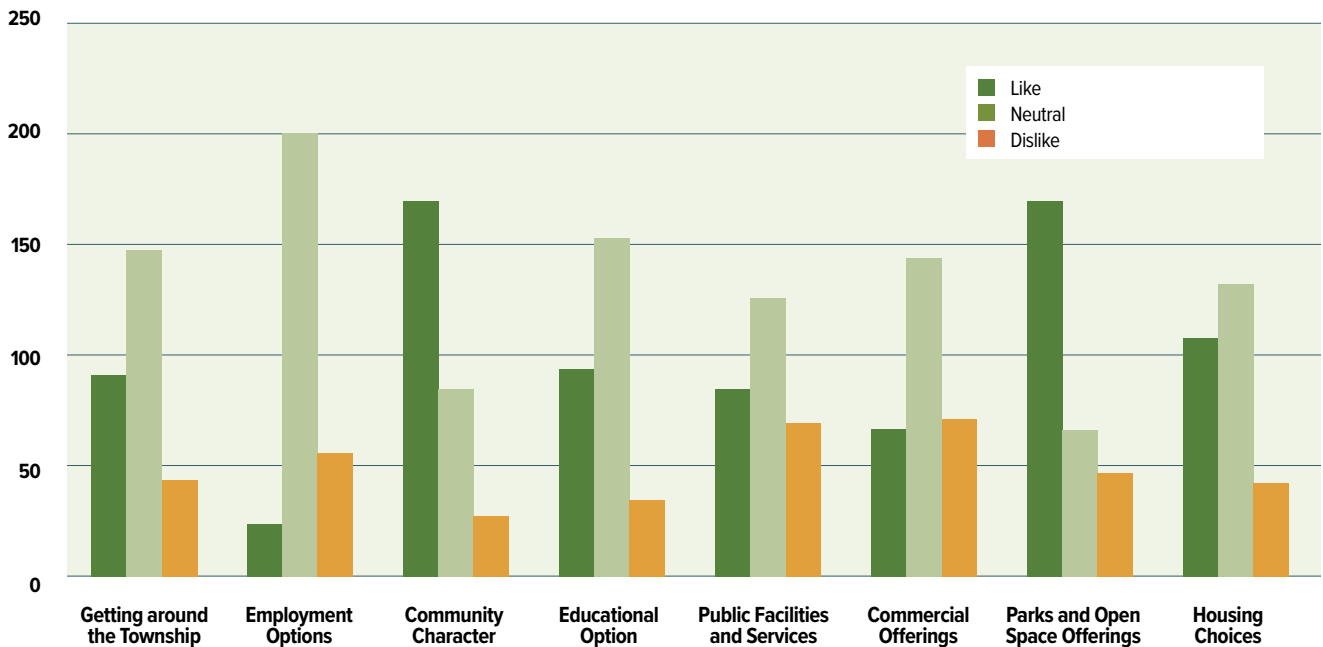
Respondents were given a list of choices relating to housing, recreation opportunities, employment options, and other topics and were asked to rate how those choices contributed to their like or dislike of the Township today.

Parks and open space offerings and community character were both considered assets by many survey respondents, with 169 and 170 respondents, respectively, selecting these factors as reasons they liked living in Holly Township. Commercial offerings were provided as the most disliked aspect of Holly Township, with 71 responses. Public facilities and services (69 responses) were also selected as a disliked aspect of Holly Township.

Multiple open-ended comments reflected these likes and dislikes:

- » Need to incentives the area to more business with regards to employment as well as services.
- » Quality and upkeep of parks and recreation areas is a major concern. We need more options for our kids - younger and older.
- » I dislike the employment options. The only thing available is retail, I wish there was more clerical and manufacturing options.

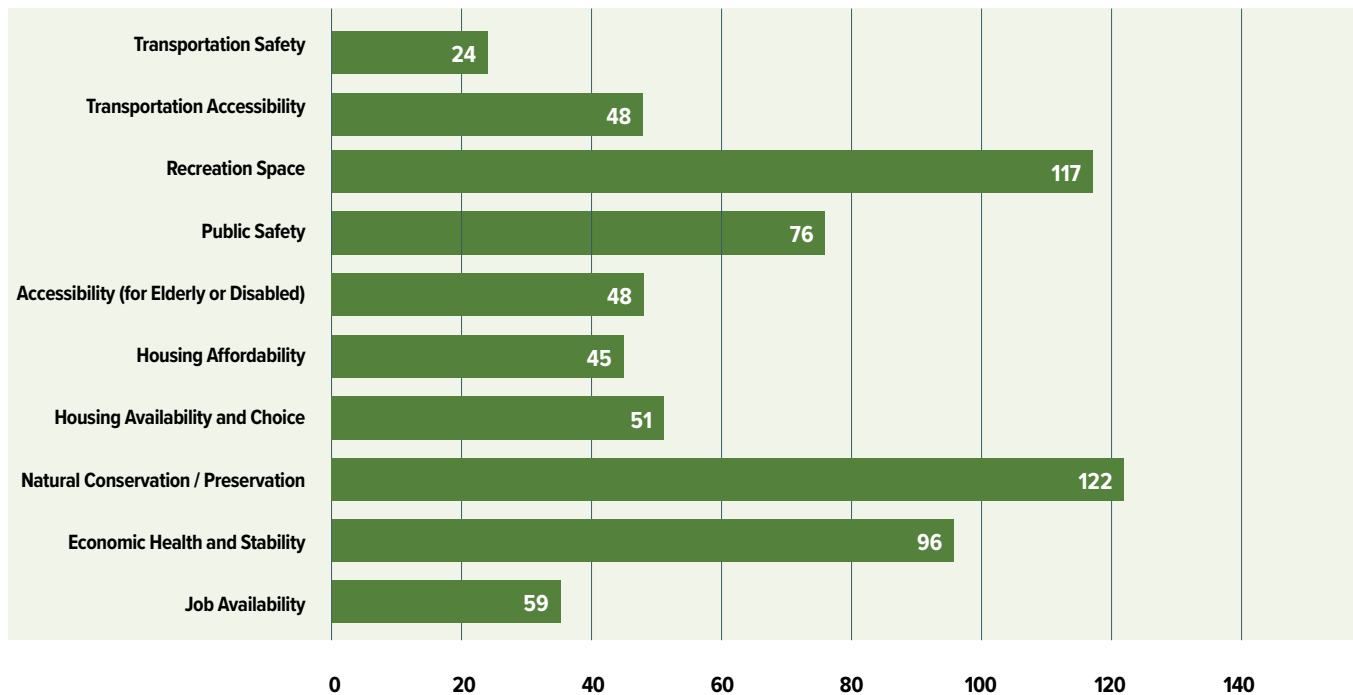
Figure A. Likes and Dislikes in Holly Township



## What could be improved about Holly Township?

For this question, a list of potential improvements was given for respondents to choose from. The selections chosen the most were Natural Conservation/Preservation, Recreation Space, and Economic Health and Stability.

**Figure B. Areas for Improvement in Holly Township**



Open-ended responses that support these improvements include:

- » Expanded parks and recreation. Facilities, programs, community spaces, preserved land and parks.
- » Diversified retail to fit the needs of all.
- » Attracting larger companies that offer higher salaries and benefits that give residents a higher standard of living.
- » Paved trails and better parks. A community center. More options for housing. After the 250-300k mark, there are not many options for houses.

## OPEN-ENDED QUESTIONS

Respondents were provided open-ended questions that they could provide detailed responses to. The comments in this section were included if a number of comments expressed a similar like, dislike, or concern regarding the Township.

### What is one change you believe will improve the quality of life in Holly Township?

Many of the responses to this question could be categorized by a desire for increased access to recreational and community activities, improved quality of public services, and a desire for more diverse commercial activity.

#### Increased Recreation and Community Opportunities

- » Development of public parks and trails.
- » Better parks.
- » An actual Community Center with offerings for the community. Educational courses. Activities. Job opportunities. The Karl Richter Community Center was a joke. It may have started with good intentions.
- » Take advantage of the great outdoor opportunities in the area (state parks, camping, ORV) develop outdoor retail, outdoor tourism, markets etc. Take emphasis off everything being historic.

#### Quality of Public Services

- » Get water/sewage costs down.
- » Better water quality and pricing.
- » Improving the public utilities, especially the water quality.
- » Public transportation. It's very hard to live here if you don't drive.
- » Emergency services.

#### Diversity of Commercial and Retail Business

- » Adding a grocery store, plenty of room on the corner of grange hall and fish lake.
- » Having shops that meet daily living needs instead of specialty shops.
- » New business.
- » Better shopping opportunities beyond the current demographic of the amount of discount dollar stores that are here.

### In your opinion, what is Holly Township's greatest strength heading into the future?

Many residents pointed to the natural beauty of the Township, as well as its small town and close-knit community feel as Holly Township's main strengths heading into the future. Specific comments from residents about Holly Township's greatest strengths included:

- » Pleasant, rural community.
- » The community members care!
- » Nature.
- » The small town Community. In order to keep this small town atmosphere, but grow economically Holly needs to market its self with green activities, such as biking trails.
- » Cute downtown with lots of potential.
- » Parks and outdoor gathering areas.

### In your opinion, what is Holly Township's greatest weakness heading into the future?

A lack of access to necessities and amenities such as grocery stores, community events, and updated technology were named as weaknesses heading into the future. Additionally, while some residents were concerned with a lack of development, specifically around affordable housing and diverse retail opportunities, others were concerned about increasing development and its impact on the rural character of the Township. Specific comments relating to Holly Township's greatest weaknesses are included below:

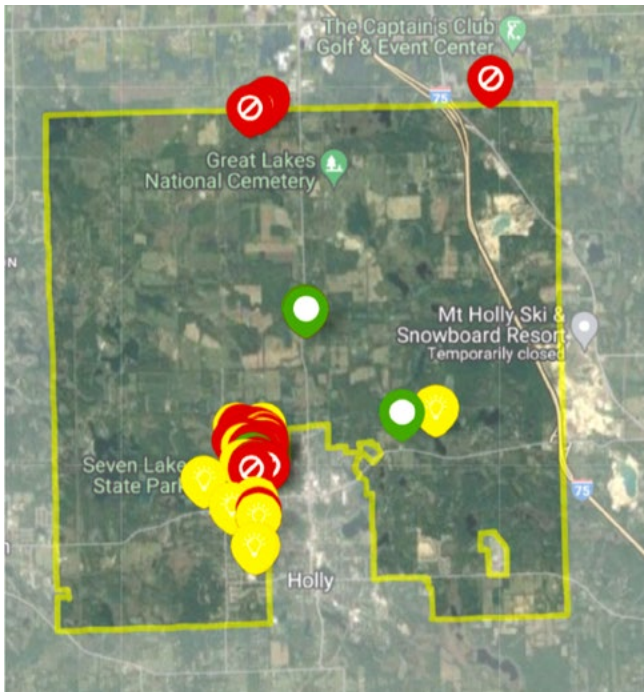
- » Lack of basic living essentials like grocery store and public transportation.
- » Community events for everyone to enjoy throughout the year.
- » Unable to progress into the future with modern technologies with updated website, businesses.
- » The impact of growth and meeting the high cost to maintain necessary services.
- » Over development, becoming overcrowded and therefore causing unnecessary stress for it's already existing population.
- » Lack of housing affordability and choices make it difficult for the younger generations to live here.



## ONLINE MAPPING COMMENTS

The online map was made available in the survey to allow respondents to leave specific likes, dislikes and ideas for particular areas in Holly Township. In total, there were 61 comments on the map left by approximately 23 people. One person left 30 comments on the map relating to the Riverside development, and is therefore overrepresented in the survey results. Many of the other comments were concentrated around the Grange Hall and Fish Lake intersection.

Figure C. Public Input Mapping Comments



Respondents liked some of the current restoration projects in the Township as well as prospective youth development programs. Specifically, some of the likes respondents had for Holly Township included:

### At Holly Heritage Farmstead:

- » Barn restoration project.
- » Create youth development opportunities focused on agriculture and natural sciences.

### At Riverside Drive and Grange Hall Road intersection:

- » Crossing light for pedestrians. Very dangerous intersection.
- » Great idea for a grocery store. Intersection is fine.

Dislikes from Township residents centered around traffic and safety concerns around high-traffic intersections and potential developments coming to Holly Township. Specific comments expressing dislikes include:

### At Riverside Drive and Grange Hall Road intersection:

- » The timing of the traffic lights at Patterson and Fish Lake make left turning from either north or south Riverside treacherous. The light timing guarantees there will always be cross traffic at this intersection. Consider adding a sensor-based traffic signal for Riverside and Grange Hall.

### At a pedestrian path north of Holly Academy crossing the Shiawassee River:

- » Bridge does not look safe at all. The infrastructure supporting it is very damaged. The area is always vandalized and vulgar words painted on bridge/rocks. Trash is left, if the public want this a public walking trail then they all need to help take care and watch their kids who trash it!

Respondents were asked to leave ideas relating to specific locations on the map. Some of the ideas respondents had about Holly Township included:

### At Sprouts of Fenton:

- » Rezone to C2 and include in the Grange Hall Rd Fish Lake Rd Overlay.

### At Holly Academy:

- » Create sidewalk, bike lanes, crosswalks. Home owners could use sidewalk to walk their children to school, walk/ride bikes to the village etc. Sidewalk just ends where the village ends.

### At Riverside Drive and Grange Hall Road intersection:

- » Crossing light for pedestrians.

### At the Riverside subdivision north of Riverside Drive:

- » The township & master plan wants the area connected areas and walking paths throughout, yet the Riverside sub was left incomplete many sidewalks ending in the middle on yards, connecting nowhere, and just missing all together lets finish this project before discussing new ones PLEASE.

## SURVEY TAKEAWAYS

Based on the responses from this survey, a number of takeaways can be made about the current strengths, weaknesses, and areas of improvement in Holly Township.

1. Residents enjoy the natural beauty and recreational opportunities within the Township.
2. Residents support increasing access to natural features like the Shiawassee River and adding more recreational opportunities and programming.
3. Residents feel that commercial diversity is lacking in the Township and would support expanding retail such as restaurants and affordable grocery options.
4. Residents support efforts to improve pedestrian safety in the Township, including expanding and completing sidewalks and adding pedestrian crossings.

## How is the Plan Organized?

The Holly Township Master Plan is comprised of three basic sections. The **BACKGROUND STUDIES** section discusses current situations and projected trends, illustrating the point from which planning must begin. The **GOALS AND POLICIES** section outlines policies which provide a framework for a final plan. The **LAND USE PLAN** and **TRANSPORTATION PLAN** are the result of combining current situations with future concepts. The **IMPLEMENTATION SECTION** includes specific actions to accomplish the Plan. While the starting point is unalterable, the end result can be changed according to the policies applied.

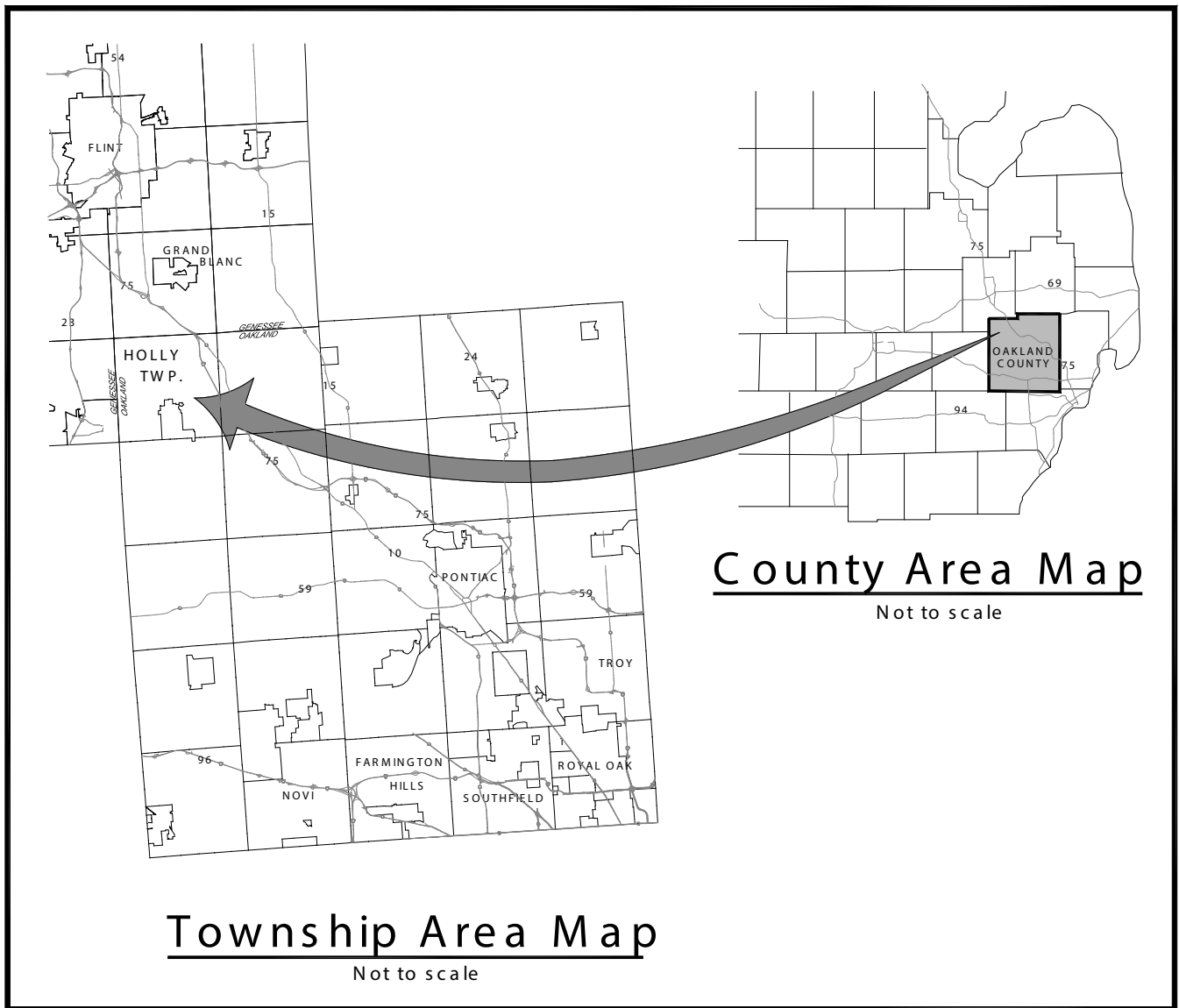
# 02.

## Background Studies

The information presented here for Holly Township excludes the incorporated Village of Holly, which is responsible for adopting a separate master plan. References to the Township include the areas shown within the boundaries on maps in this section and throughout the plan, and are thus considered "Outer Township" as they do not include areas within the Village boundaries.

# Location

Holly Township is located in the northwest corner of Oakland County as depicted in the regional map below, 50 miles north of Detroit and 15 miles south of Flint. The Township is comprised of approximately 36 square miles and is bounded on the east by Groveland Township and on the south by Rose Township, both in Oakland County. It is bounded on the west by Fenton Township and the City of Fenton and on the north by Grand Blanc Township, all in Genesee County. The Village of Holly is located in the southern portion of the Township and is approximately 2.5 square miles in size. Holly Township is accessible from all major Michigan market areas such as Detroit, Pontiac, Flint, Ann Arbor, and Lansing.



# Access

## ROADWAYS

Because I-75 runs along the eastern edge of Holly Township, access into the Township is one of its greatest assets. I-75, connecting northern Michigan with southern Florida, links Holly Township directly with Detroit and Flint as well as the Upper Peninsula. The only interchange from I-75 however, is located at Grange Hall Road at the eastern border of the Township. The Dixie Highway cuts across the north-east corner of the Township providing access to a few east-west roads. Dixie Highway becomes State Highway US-24 within Genesee County and connects the Township with Grand Blanc and Flint to the north. US-23, running through adjacent townships is approximately two miles to the west, connecting Holly with Toledo, Ann Arbor, and several statewide east-west arteries.

Access north-south within the Township is provided by Fish Lake Road, Fagan Road, and North Holly Road which traverses the Village of Holly. North Holly Road continues northward, connecting the Township to I-75 and Grand Blanc. South of the Township, East Holly Road provides an additional connection to I-75, while Milford Road provides access to Milford and M-59 and I-96. Dixie Highway also provides access through the Township to I-75.

East-west access across the state is satisfied by I-96, I-69 and I-94. I-94 traverses the southern portion of the state, connecting Detroit, Ann Arbor, Battle Creek, Kalamazoo and Chicago. It is approximately 60 miles south of Holly Township, accessed by US-23. I-96 ties Detroit to Lansing, Grand Rapids and the west-central coast of Michigan. It is 35 miles south of Holly and again, is accessed by US-23. I-69, 15 miles north of Holly, runs from Port Huron on the east, through Flint, and is a primary route to Lansing.

Within the Township, Grange Hall Road is the major east-west route linking Holly Township and Village with Holly State Recreation Area to the east and the City of Fenton to the west. Thompson Road, in the north-western corner of the Township, provides an additional connection to US-23. It is generally more difficult to traverse the Township when traveling east and west, than when traveling north and south. This is particularly true in the northeastern half of the Township. It should be noted that the main contributing factor to the lack of continuous north-south and east-west roadways is the abundance

of water features in Holly, including lakes, rivers, and wetlands. While these features are great assets and add to Holly's unique natural character, they do prevent the addition of longer, continuous roadways in the Township, putting more pressure on the few that do exist.

## RAILROADS

The Lakes State Railroad Company (LSRC) crosses through the lower part of the Village of Holly and the Township, running northwest of Detroit. The Canadian National (CN) Railway also has a line which runs north-south through the Township traversing the Village of Holly.

## AIRPORTS

Complete airport facilities are available at Flint's Bishop International Airport in Flint. Business-oriented flights are also available at Oakland International Airport to the south. Private airfields or landing strips are located in adjacent townships. Detroit Metropolitan Airport is approximately 60 miles south.

## TRAILWAYS

Trailways provide many benefits to the community, including environmental preservation, providing a means for all modes of transportation, and promote health and safety. Additionally, trails help maintain the Township's "Up North in Oakland County" character by allowing residents and visitors the opportunity to enjoy the natural resources Holly Township has to offer. There are over 35 miles of trailways located in the Township including through state parks, Safety Path to Schools, and headwater trails.

# Physical Characteristics

## INVENTORIES

The Holly Township offices hold a comprehensive set of natural resource maps, prepared by the Oakland County Planning and Economic Development Services Division, at the request of the Township. Outlined in a series of maps throughout this section are: water resources, wetlands and watersheds; land resources including topography, septic suitability, woodlands and natural features. [Map 1](#) displays Holly's natural features as categorized by the Michigan Natural Features Inventory Program. This inventory identifies and ranks potential conservation areas remaining in Oakland County. Potential conservation areas are defined as places on the landscape dominated by native vegetation that have various levels of potential for harboring high quality natural areas and unique natural features. Determination of priority areas considered 1) intactness of natural areas, 2) wetlands and wetland complexes, 3) riparian corridors, and 4) forested tracts. A discussion of the method of ranking of these natural features, noted in the Oakland County Potential Conservation/Natural Areas Report, is provided in Appendix B of this document. The Michigan Natural Features Inventory Program identified the most natural, unaltered examples of natural plant communities in Oakland County, three of which are located in Holly Township. A five acre prairie fen located at Cady Lake, a 103 acre dry-mesic southern forest located within Seven Lakes State Park, and a six acre prairie fen, also within Seven Lakes, were recognized as warranting protection at the county level.

## GEOLOGY

Holly Township is situated within one of two broad zones in the southeast Michigan area; the hilly zone. The largest surface geological form in Holly Township is the area of till plain, closely followed by the morainic form. The outwash plain accounts for the least area. Landforms are the result of prehistoric glacial movement and deposits mainly of sand and gravel.

## SOILS

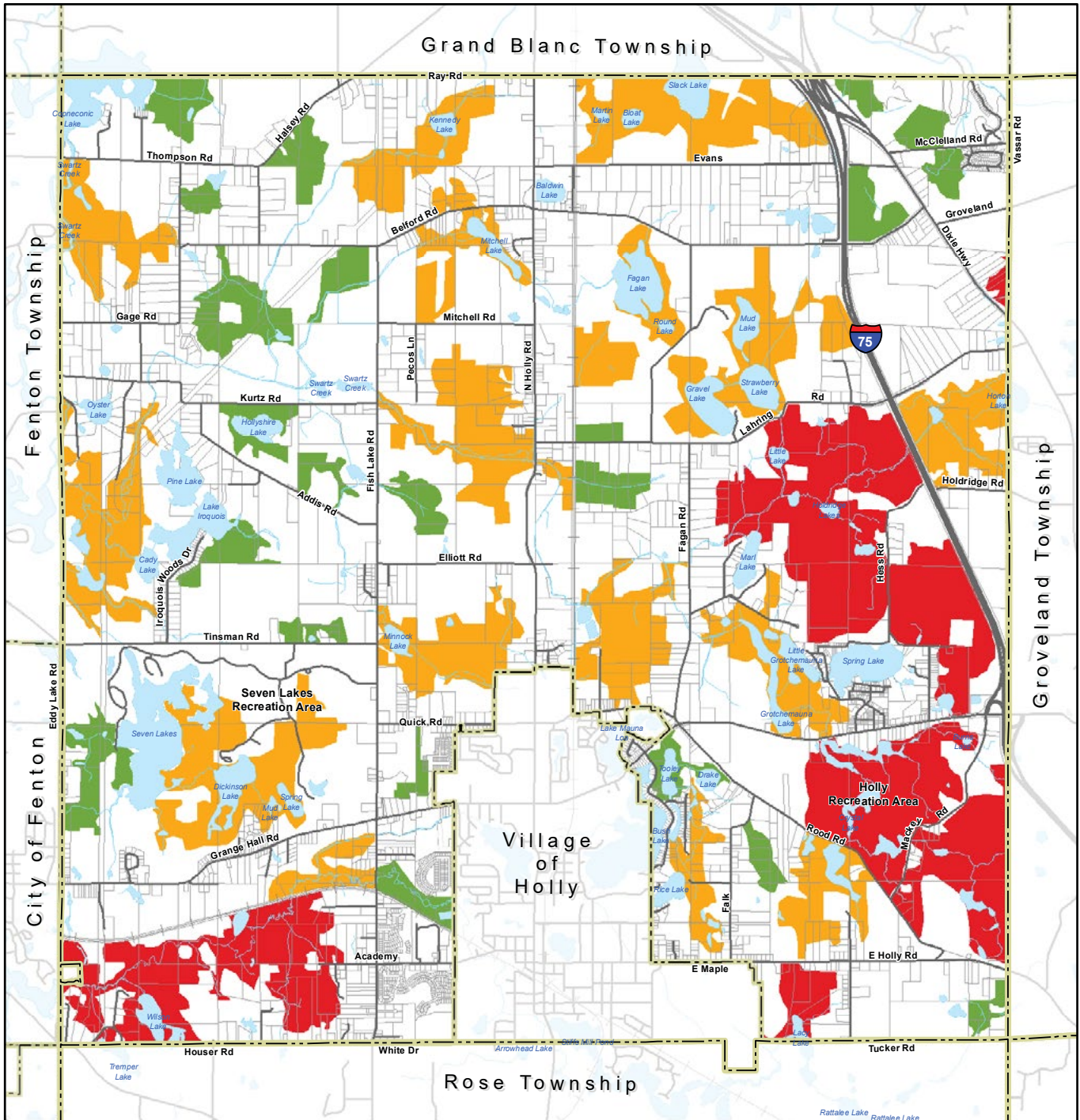
General soil mapping indicates that there are four broad soil types in Holly Township. These have been defined as follows:

- » **Marlette-Capac-Houghton:** Nearly level to hilly, well drained to very poorly drained loamy and mucky soils; on till plains and moraines and in bogs.
- » **Riddles-Marlette-Houghton:** Nearly level to steep, well-drained, moderately well drained, and very poorly drained loamy and mucky soils; on moraines and till plains and in bogs.
- » **Fox-Oshtemo-Houghton:** Nearly level to hilly, well drained and very poorly drained loamy, sandy, and mucky soils; on outwash plains, beach ridges, and moraines and in bogs.
- » **Oshtemo-Spinks-Houghton:** Nearly level to steep, well-drained and very poorly drained sandy, and mucky soils; on outwash plains, beach ridges, and moraines and in bogs.

The most prevailing soil types is the Marlette-Capac-Houghton with the Oshtemo-Spinks-Houghton and Riddles-Marlette-Houghton soil types forming the next two soil type classifications, respectively. There is one very small area of Fox-Oshtemo-Houghton along the southeast portion of the Township. The Village of Holly and the most intensively developed portions of the Township, lie within the Marlette-Capac-Houghton soil type and the area of outwash plain. Neither of these natural features is supportive of septic tank development.

## VEGETATION

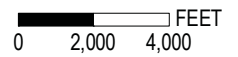
Northern Oakland County lies in a deciduous forest zone in which the climax forest is Beech and Maple. After the retreat of the glaciers, uplands became forested by oak communities. The kettle depressions developed into tamarack or hardwood swamps, and sometimes remained as lakes surrounded by meadows. The channels gradually became extensive swamps or meadows, and were often cut by rivers and streams. [Map 2](#) shows where the woodlands are in Holly.



July 21, 2016

# Map 1: Michigan Natural Feature Inventory

Holly Township, Oakland County, Michigan

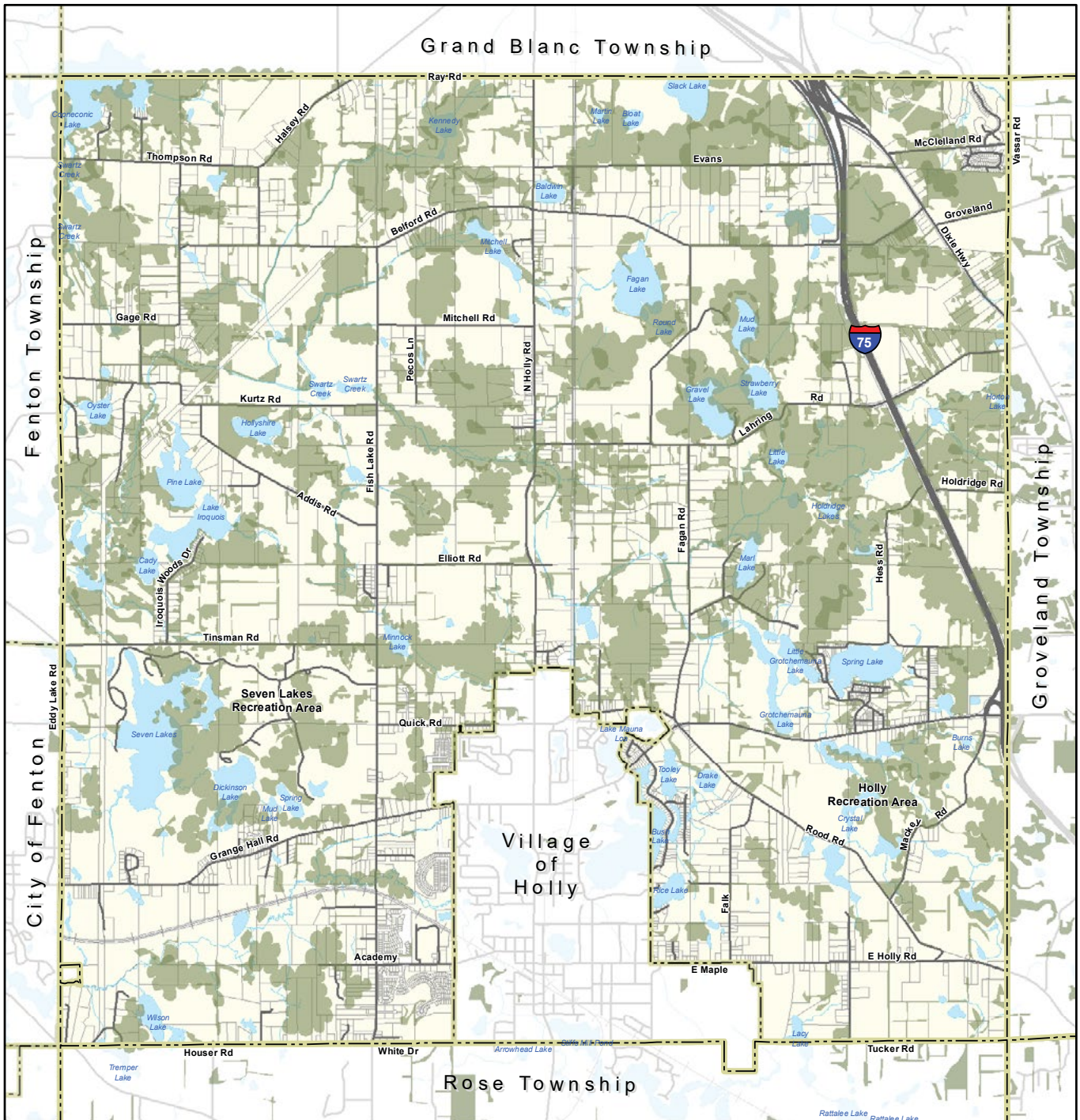


- Priority One
- Priority Two
- Priority Three



**McKenna**  
ASSOCIATES

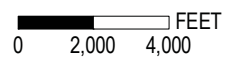
Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012



July 21, 2016

## Map 2: Woodlands

Holly Township, Oakland County, Michigan



- Woodlands
- Water Bodies



Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012



## WATER RESOURCES

Holly Township has abundant water resources including lakes, wetlands, and streams. More than 35 lakes of varying size are scattered extensively throughout the Township, occupying 6% of total land area. Large areas of wetlands surround the many water bodies as well. The Shiawassee River traverses through the southern portion of the Township, and Swartz Creek is located in the central northern portion.

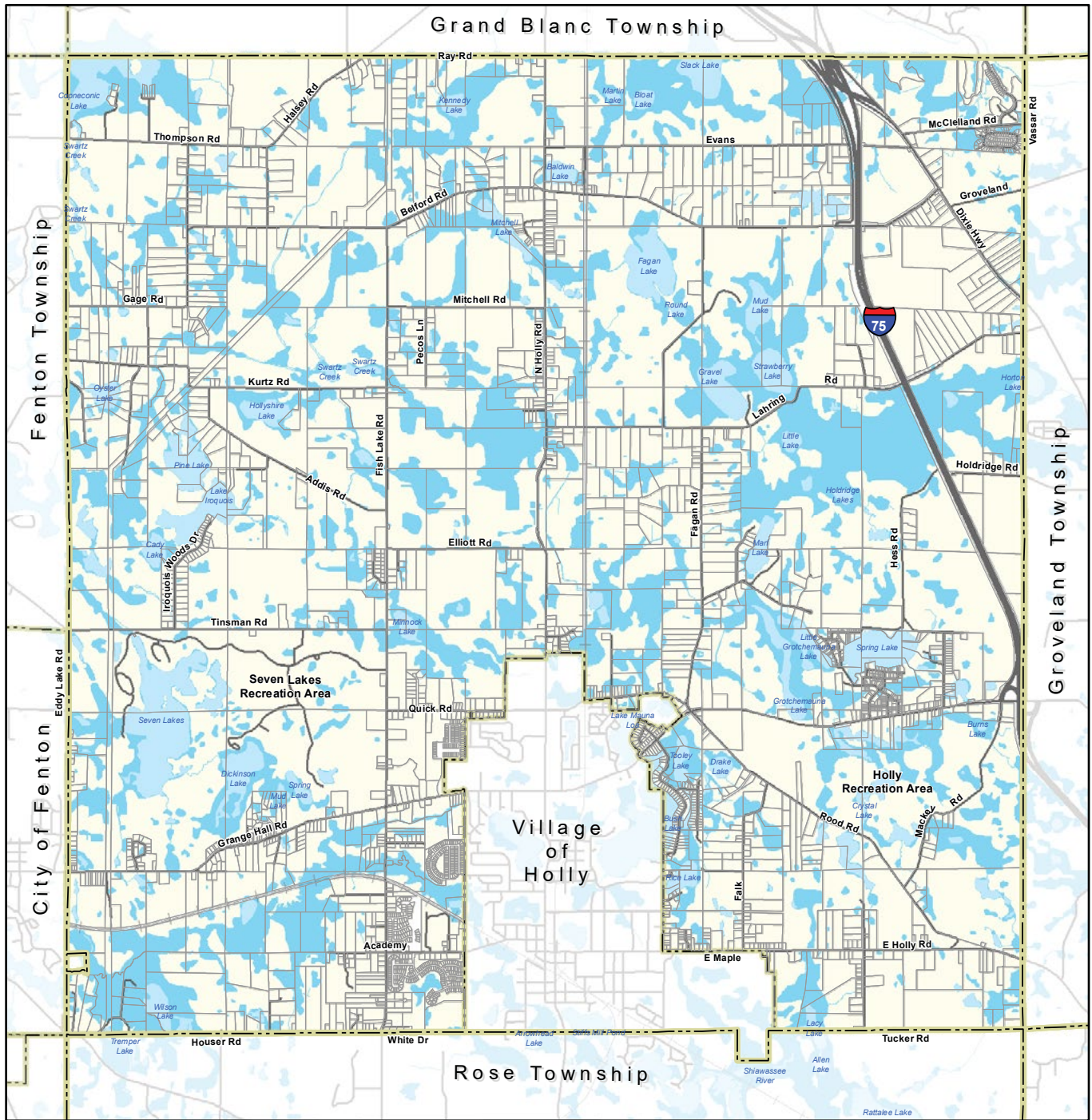
It is estimated that only 370 acres or 22% of pre-settlement wetlands remain today. Lowland forests total 230 acres and upland forests 370 acres, both less than 10% of what originally existed in the Township. The Oakland County Planning and Economic Development Services Division in conjunction with Rose Township, the Oakland Land Conservancy, the Michigan Nature Conservancy, and the Michigan Nature Association developed the Rattalee Lake Greenway Project which identifies the Rattalee Lake wetlands area as one of the few remaining pre-settlement landscapes in Oakland County. A small portion of this area is located in Holly Township east of the Village of Holly at the southern boundary of the Township.



Given that water supply for Township residents is provided mostly by individual wells (as well as some who are connected to Village water and sewer), groundwater protection measures are essential to protecting the public health, safety, and welfare. Although Wellhead Protection programs generally involve public well systems, other programs can be implemented. The Township currently has site plan review standards which regulate stormwater runoff, erosion control, and hazardous chemicals stored at sites. Enforcement of these regulations is necessary to meet ground water protection objectives. Sites which include storage of hazardous materials or waste, fuels, salt, or chemicals should be designed to prevent spills and discharges of polluting materials to the surface of the ground, groundwater, or nearby water bodies. Other strategies include:

- » Educational efforts to inform citizens of septic system maintenance needs, and potential on-site pollution from failing septic systems.
- » Involvement of the Engineer and Fire Department for review of any use with on-site hazardous waste storage.
- » Setback standards (100 feet) for septic system drain fields from wetlands, lakes, rivers, or other water bodies.
- » Groundwater recharge areas should be protected from potential contamination.
- » Coordination with state and county programs.
- » Site plan review standards to continue to include information on hazardous waste and containment plans.
- » Adoption of a wellhead protection ordinance which manages the sources of pollution for ground water resources.

Consideration must be made to areas with existing groundwater concerns. Water quality information has been provided with this plan and indicates areas with high contamination levels of arsenic and chloride in some areas of the Township. Educational efforts pertaining to these issues are also of importance to the Township and current and future residents. This information should also be continually updated to ensure that the delineations are accurate.



October 18, 2016

### Map 3: Wetlands

Holly Township, Oakland County, Michigan

0 2,000 4,000 FEET

- Wetlands
- Water Bodies
- Surrounding Municipalities

**McKenna**  
 ASSOCIATES

Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a.  
 Data Base: Oakland County Data, 2012



## DRAINAGE

Township drainage is composed of an interrelated system of the following natural and manmade elements:

- » Natural drainage courses and water bodies such as rivers, floodplains, wetlands, and lakes, some of which are under the MDEQ jurisdiction.
- » Established County drains which are under the jurisdiction of the County Water Resources Commission.
- » Roadside ditches which are under the jurisdiction of the Road Commission of Oakland County.

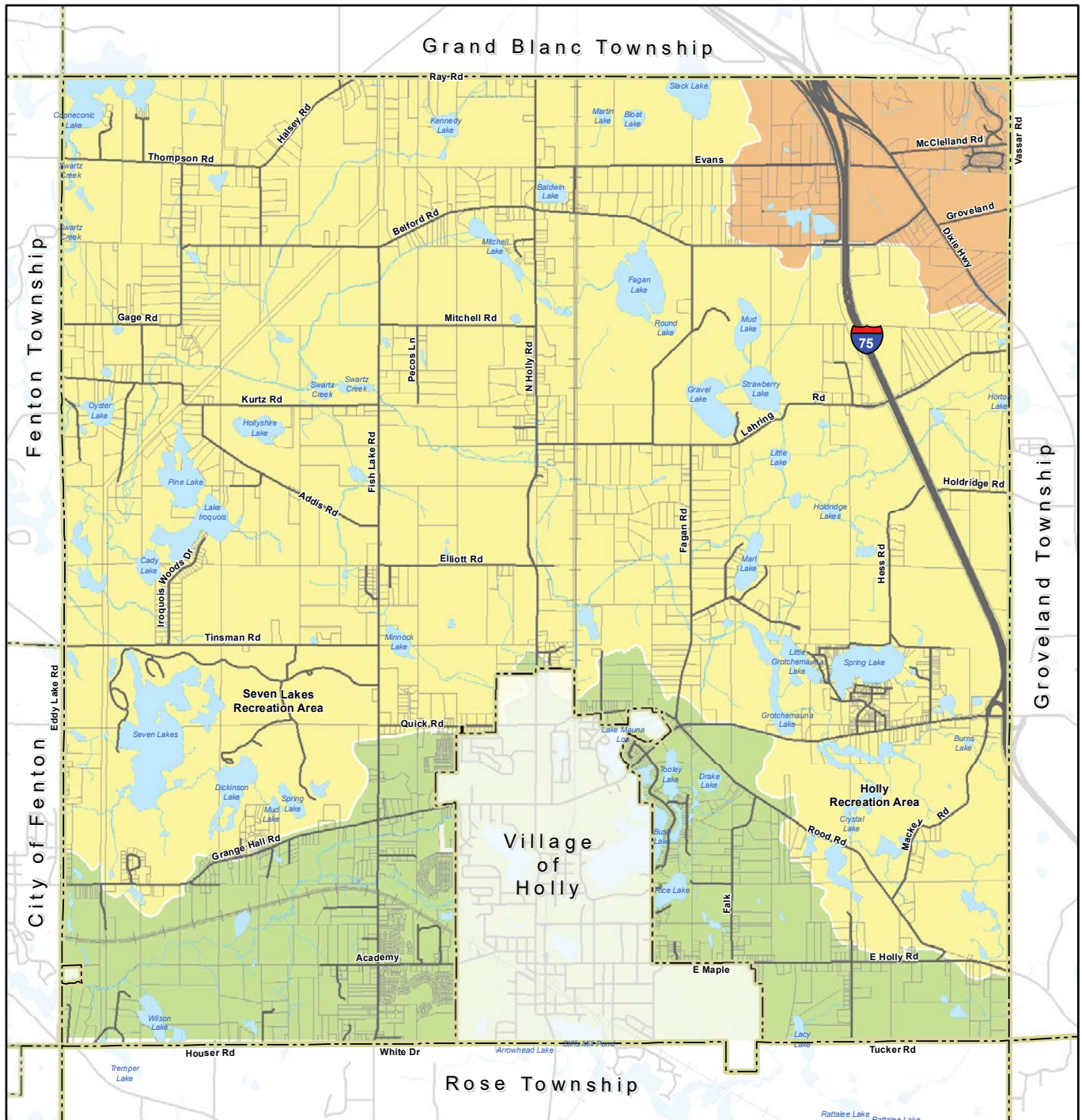
The management of the above combined drainage elements are not coordinated by any one of the three involved governmental bodies, therefore, careful monitoring must occur and problem areas identified in order that the proper management agency can address problems in a prioritized manner. The Township can also ensure that development in areas with lakes and wetlands is done in a sensitive manner with a great effort to minimize impacts upon these natural systems and to encourage the use of Best Management Practices, such as bioswales and rain gardens. Furthermore, as road improvements under the Road Commission for Oakland County jurisdiction occur, coordinated improvements to the drainage in that area can also be addressed.

Because of these considerations and recent changes in legislation, more care needs to be given for drains in the Township in the future.

## TOPOGRAPHY

In Southeast Michigan, slopes of 12% or more should generally not be developed because of their uniqueness in the area. Holly Township has considerable areas of 12% slopes, distributed throughout the Township, quite a few of which are part of a wetland environment. This is most significant for water quality purposes because of the high incidence of potential surface runoff from these lands if developed and concurrent pollution of water bodies from urban runoff.

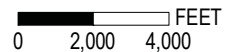
Careful planning around slopes is necessary to minimize erosion, to maintain grade and soil stability, to control amounts and velocities of runoff, and to maintain the community's aesthetic resources. The existing landform shall be made a part of land use planning and design. The primary objective is the preservation of the natural contours, vegetation and drainage patterns. Grading and site preparation shall be kept to a minimum.



July 21, 2016

## Map 4: Watersheds

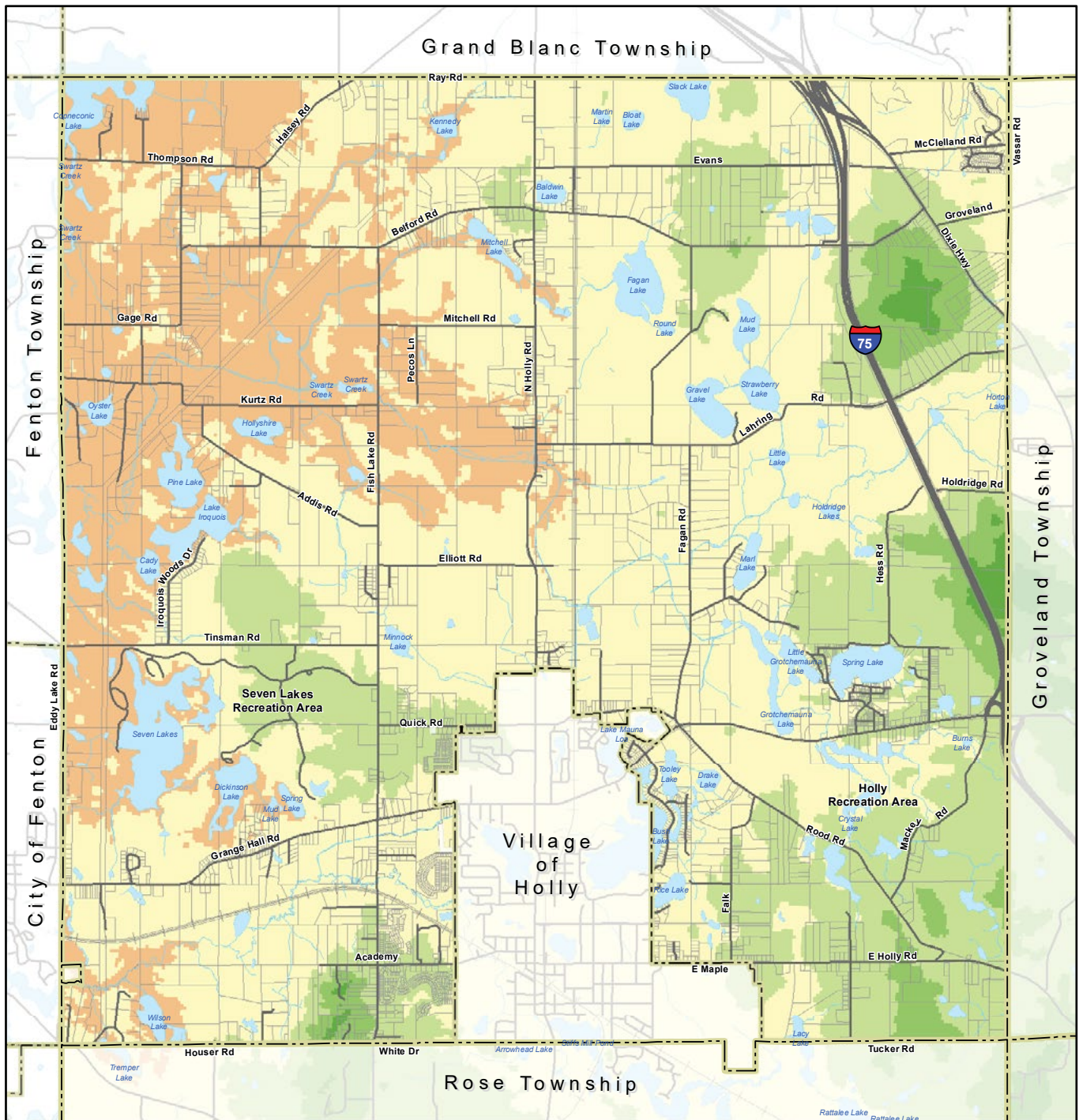
Holly Township, Oakland County, Michigan



- Shiawassee River (Shiawassee River Watershed)
- Swartz Creek (Flint River Watershed)
- Thread Creek (Flint River Watershed)



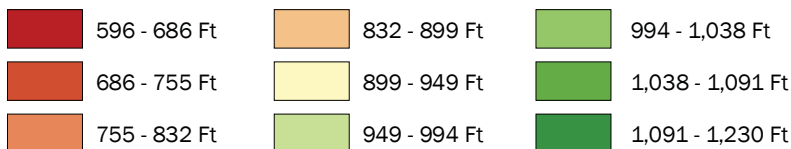
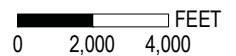
Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012



July 21, 2016

## Map 5: Topography

Holly Township, Oakland County, Michigan



Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012

# Population and Housing

## POPULATION TRENDS

Holly Township and the Village of Holly are located in a historically high growth region within the state of Michigan. The Township has nearly tripled in population since 1960, and the Village has mirrored this growth trend by almost doubling in population during that same time frame. Figure E, Figure F, and Table 3 depict the growth trends and population numbers of both the Village and Township, and compare Oakland County from 1960 to 2020, including population projections for 2030, 2040, and 2050. Many of the following tables include statistics for the total area of Holly Township (36 square miles), as well as the Village of Holly and Holly Township excluding the Village.

**Table 3. Population Trends – Holly Township, Village of Holly, and Oakland County**

|                         | 1960    | 1970    | 1980      | 1990      | 2000      | 2010      | 2020      | 2030      | 2040      | 2050      |
|-------------------------|---------|---------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|-----------|
| <b>Holly Township</b>   | 2,282   | 3,041   | 3,612     | 3,257     | 3,902     | 5,276     | 6,009     | 6,383     | 7,174     | 7,264     |
| <b>Village of Holly</b> | 3,269   | 4,355   | 4,874     | 5,595     | 6,135     | 6,086     | 5,997     | 5,849     | 6,064     | 6,125     |
| <b>Oakland County</b>   | 690,259 | 907,871 | 1,011,793 | 1,083,592 | 1,194,156 | 1,202,362 | 1,218,449 | 1,316,009 | 1,368,838 | 1,387,838 |

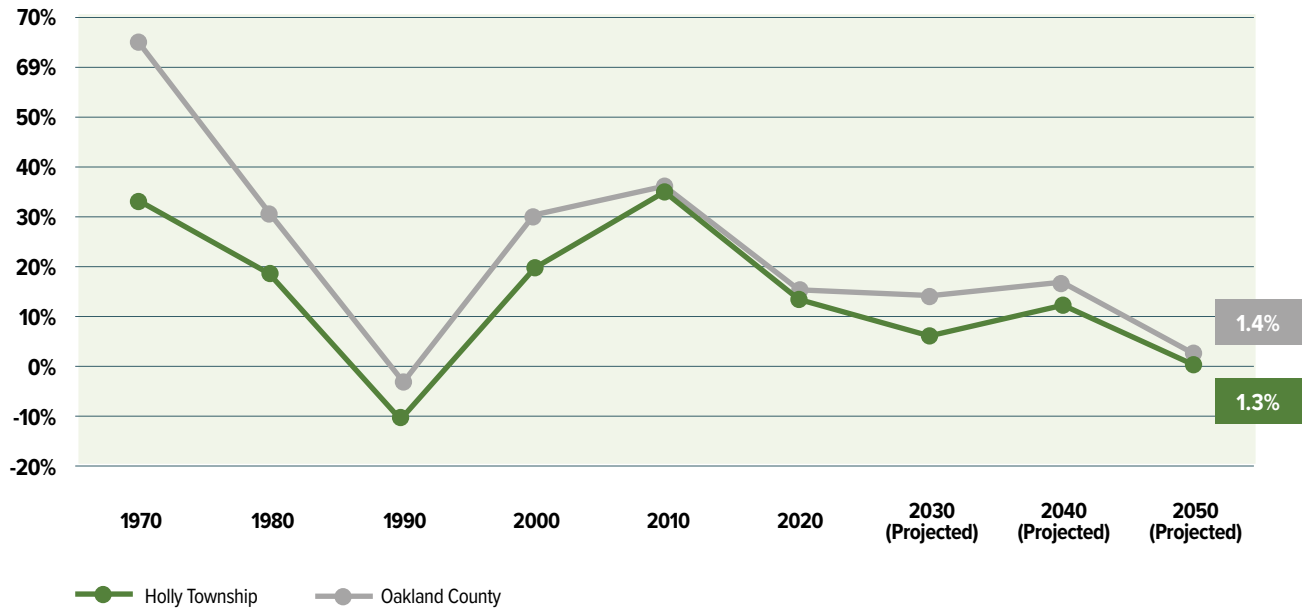
Source: US Census (Table P1) and 2050 SEMCOG Forecast.

**Figure E. Population Trends – Holly Township and the Village of Holly**



Sources: US Census Bureau, American Community Survey 5-Year Estimates

**Figure F. Population Trends – Oakland County**



Source: US Census (Table P1) and 2050 SEMCOG Forecast

The Township experienced a surge in population between 1960 and 1970, where the population increased by over 30%. Major events in the last several decades, such as the Great Recession in 2008 and COVID-19 pandemic, had similar effects on Holly's population as they did on the region. This is demonstrated in [Figure F](#), showing population trends over time. Despite the hardships brought on, Holly's population growth has remained resilient. Both the Village and Township experienced double digit growth rates over the next 40 years, with only the Township dipping in 1990 to a negative growth rate before returning to a 20% growth rate in 2000, and 35% growth rate in 2010. The first ten years of the 21st century saw the Village of Holly and Holly Township return to growth rates that had not been seen since the 1960s, which teetered off in 2020 but maintained a double-digit growth rate. This trend is projected to level off and stabilize by the years 2030, 2040, and 2050. This is consistent with what has been seen regionally and nationally, and is in relation to decreasing household sizes and the aging baby-boom population.

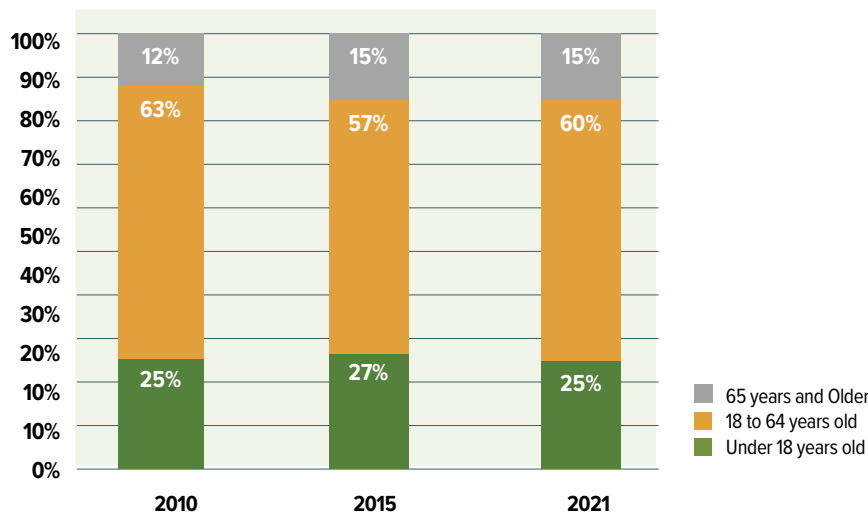
Age characteristics for Holly Township and adjacent communities are depicted in [Table 4](#). At a median age of 41.1 years, Holly Township is the same as the median age of Oakland County. With the average median age for the surrounding local region being 44.3 years, though it is younger, Holly Township reflects general conditions. [Figure G](#) displays the age characteristics for the population in Holly Township and how it has fluctuated over the course of the past 10-year period. Since 2010, the median age has remained at 41.1 years.

**Table 4. Age Characteristics – Holly Community and Related Areas in Oakland and Genesee County, 2021**

|                            | Holly Township | Holly Village | Rose Township | Groveland Township | Oakland County | Grand Blanc Township | Fenton Township | Fenton City  | Genesee County |
|----------------------------|----------------|---------------|---------------|--------------------|----------------|----------------------|-----------------|--------------|----------------|
| <b>Total Population</b>    | 6,000          | 6,448         | 6,226         | 5,895              | 1,271,983      | 39,478               | 16,668          | 11,921       | 406,400        |
| <b>Age Characteristics</b> |                |               |               |                    |                |                      |                 |              |                |
| » Median Age (years)       | 41.1           | 48.5          | 50.1          | 46.8               | 41             | 39.7                 | 46.8            | 38.1         | 40.4           |
| » % Under 5                | 7.6%           | 4.9%          | 5.9%          | 4.4%               | 5.3%           | 5.4%                 | 5.6%            | 5.8%         | 5.8%           |
| » % Under 18               | 24.9%          | 20.8%         | 20.9%         | 18.1%              | 20.9%          | 23.0%                | 21.5%           | 23.2%        | 22.7%          |
| » % 65 and Older           | 15.5%          | 19.3%         | 22.0%         | 20.0%              | 16.9%          | 18.3%                | 21.9%           | 16.4%        | 17.4%          |
| <b>Total Households</b>    | <b>2,219</b>   | <b>2,845</b>  | <b>2,363</b>  | <b>2,284</b>       | <b>520,393</b> | <b>15,914</b>        | <b>6,497</b>    | <b>5,011</b> | <b>164,905</b> |
| Households with Children   | 28.0%          | 22.8%         | 25.8%         | 25.1%              | 27.9%          | 28.1%                | 28.6%           | 27.6%        | 28.5%          |

Sources: US Census Bureau, American Community Survey 5-Year Estimates

**Figure G. Population by Age – Holly Township between 2010 and 2021**

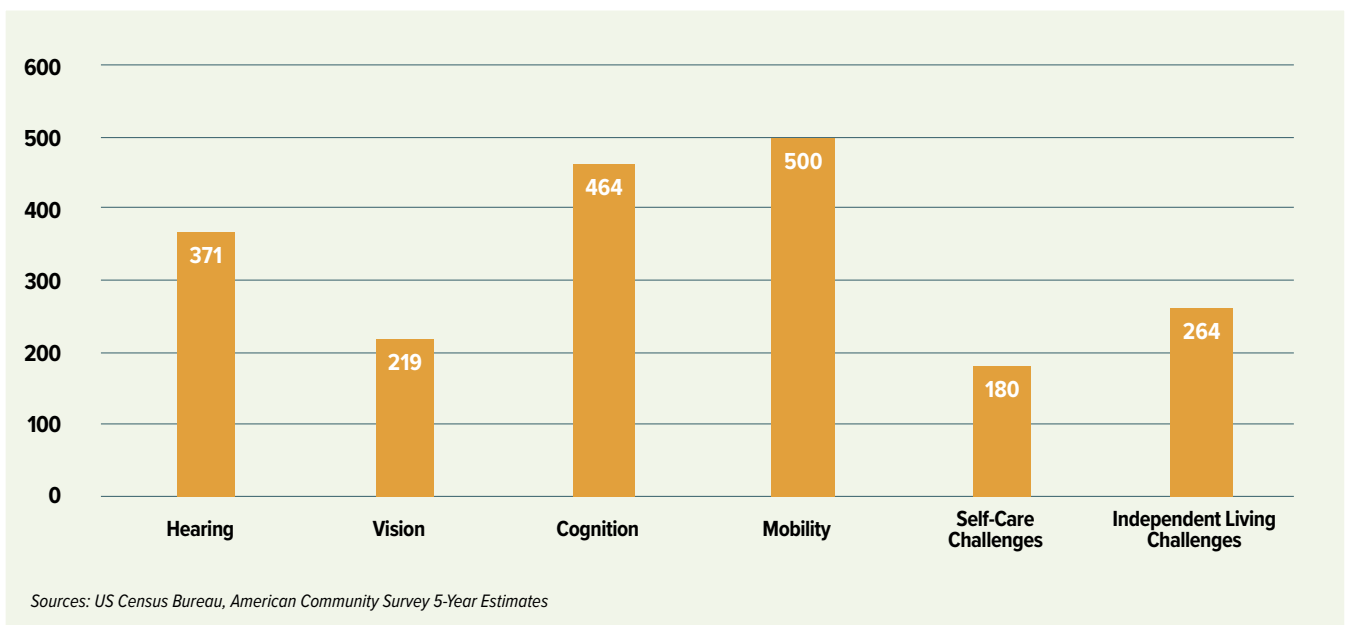


Sources: US Census Bureau, American Community Survey 5-Year Estimates for years 2010, 2015, and 2021

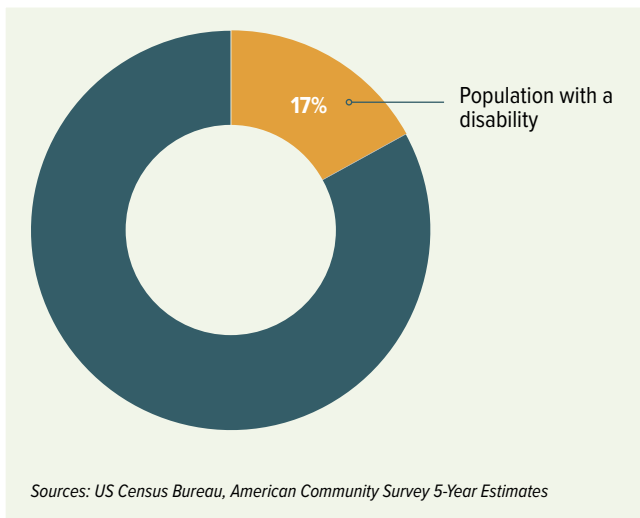


Understanding the status of persons with disabilities in the Township will assist in planning future programs and appropriate locations for facilities and activities. The Americans with Disabilities Act of 1990 (ADA) requires that all public services, including parks, recreation, and cultural facilities, be subject to barrier-free requirements. Public providers must eliminate any eligibility requirements for participation in programs, activities, and services. As the population ages, the proportion with one or more disabilities steadily increases. This trend is consistent with the figures for the Township. Approximately 17% of the Township’s population has one or more disabilities, with nearly 35% of the population 65 years and older having a disability. Comparatively, 14% of Michigan’s and 11% of Oakland County’s population have a disability. When looking only at the population over the age 65, the state measures 23% and the County 20% with a disability, putting Holly above average for both. The Township must account for the needs of these residents as decisions are made over the next several years.

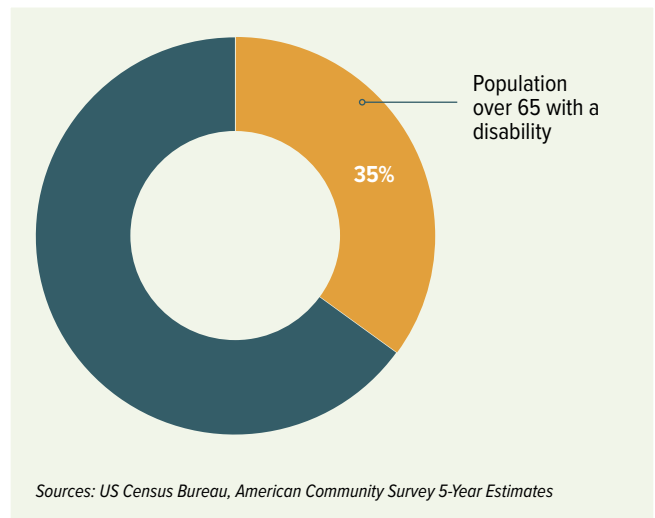
**Figure H. Population with a Disability by Type – 2021**



**Figure J. Percentage of Population with a Disability – 2021**



**Figure I. Percentage of Population with a Disability over 65 – 2021**

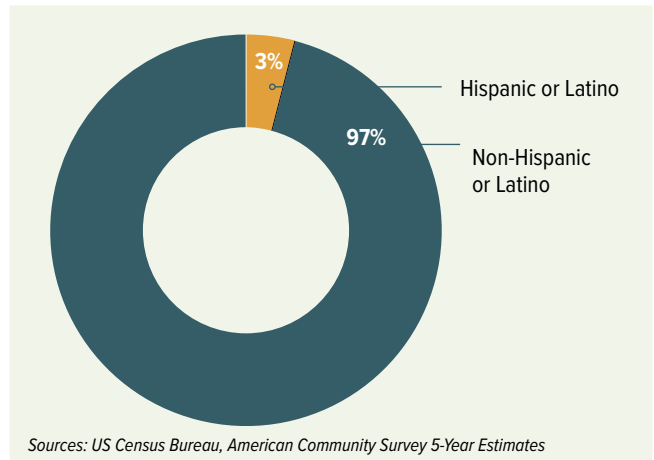


**Table 5. Race Composition – Holly Township and Related Areas in Oakland County, 2020**

| Race  | Holly Township | Oakland County |
|---|----------------|----------------|
| <b>Total Population</b>                           | 6,009          | 1,274,395      |
| <b>White</b>                                      | 87.9%          | 69.0%          |
| <b>African American</b>                           | 2.3%           | 13.2%          |
| <b>American Indian and Alaska Native</b>          | 0.3%           | 0.2%           |
| <b>Asian</b>                                      | 1.2%           | 8.3%           |
| <b>Native Hawaiian and Other Pacific Islander</b> | 0.0%           | 0.0%           |
| <b>Other Race</b>                                 | 0.2%           | 0.4%           |

Sources: US Census Bureau, Decennial Census 2020

**Figure K. Percentage of Population Identifying as Hispanic or Latino – 2021**

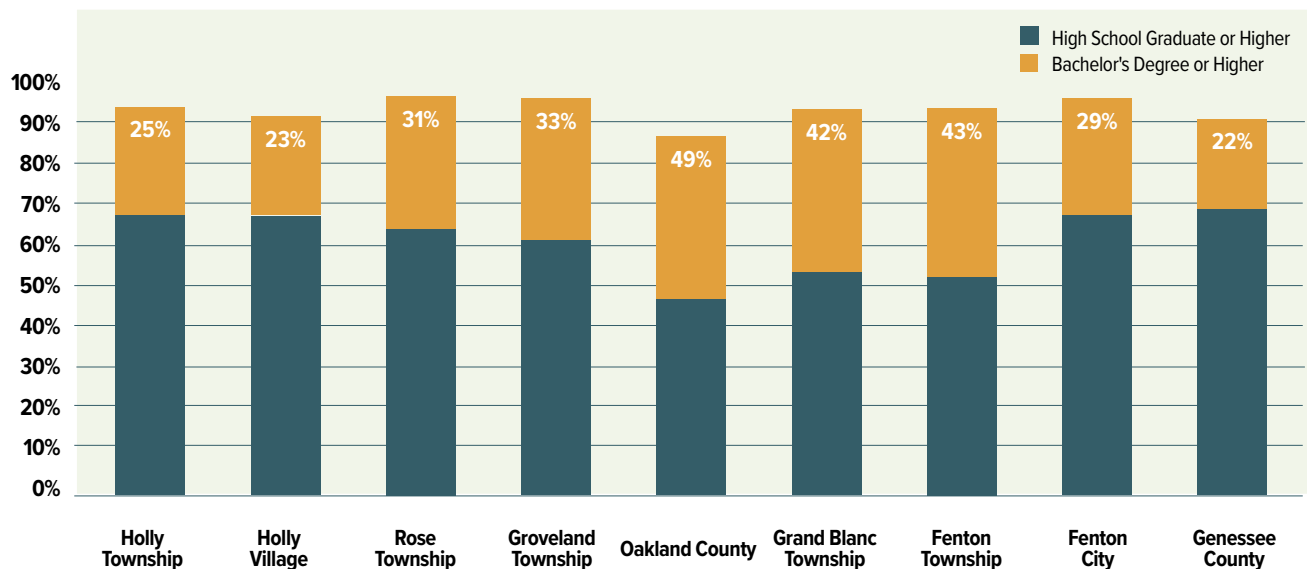


Sources: US Census Bureau, American Community Survey 5-Year Estimates

In regard to racial composition, Holly Township's population is 87.9% white, compared to Oakland County's population of 69% white, and Genesee County's population which is 69.8% white. All of these figures have gone down in the last five years, indicating that the Township is diversifying staying on trend with surrounding areas. While Holly Township is a primarily homogeneous community, the trends observed are aligned with the composition of its surrounding neighbors and has a rich history of diversity especially in the Great Lakes Subdivision. Additionally, African Americans are the second largest racial group in Holly Township at 2.3% of the total population, signaling a departure from surrounding communities' trends, which have smaller percentages of African Americans.

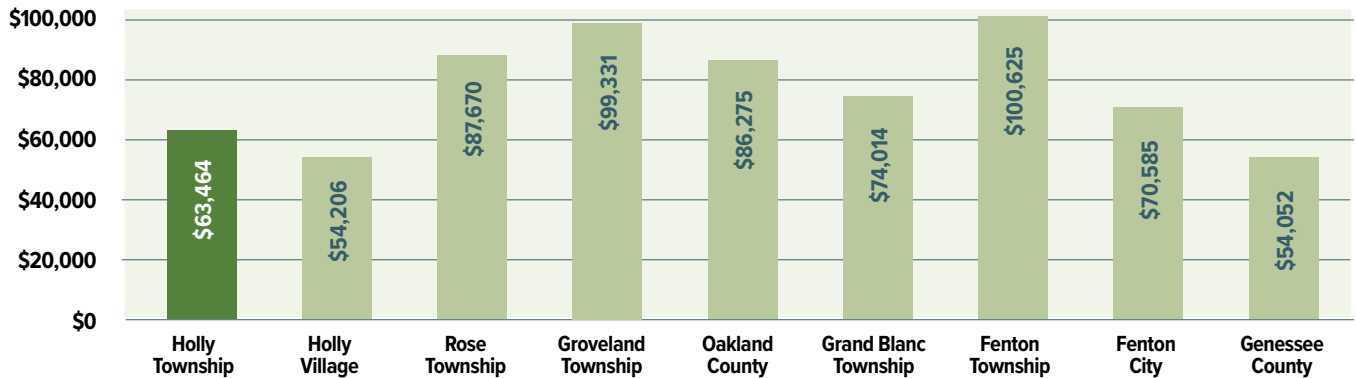
Figure L highlights the percentage of 25-year-olds or older in Holly Township and adjacent communities, who have earned a bachelor's degree or higher. The median percentage of the population with a bachelor's degree or higher in the local region is 32%, which has trended lower than the surrounding communities in the last several years, where this figure has risen considerably. While this is something of note, it does not necessarily mean anything negative given that there are plenty of other routes to a successful career that do not require a bachelor's degree. While this rate is below Oakland County, it is higher than that of Genesee County.

**Figure L. Education Attainment for Population Aged 25 and Over – Holly Township and Related Areas in Oakland and Genesee County, 2021**



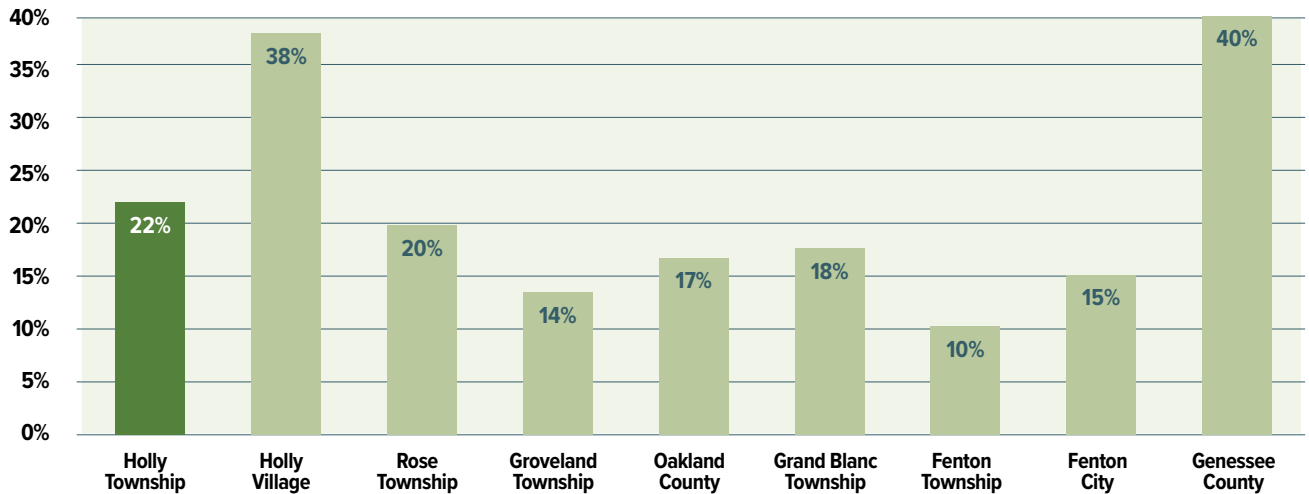
Source: US Census Bureau, 2021 American Community Survey 5-Year Estimates

Figure M. Median Household Income – 2021



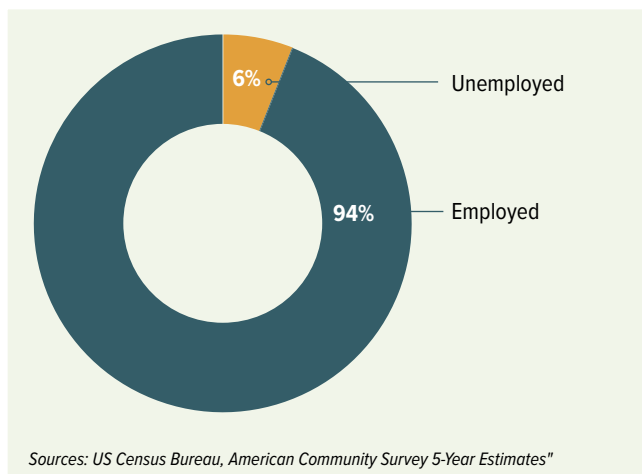
Sources: US Census Bureau, American Community Survey 2021 5-Year Estimates

Figure N. Percent Families under Economic Hardship – 2021 Dollars



Sources: US Census Bureau, American Community Survey 2021 5-Year Estimates

Figure O. Unemployment – 2021



Sources: US Census Bureau, American Community Survey 5-Year Estimates"

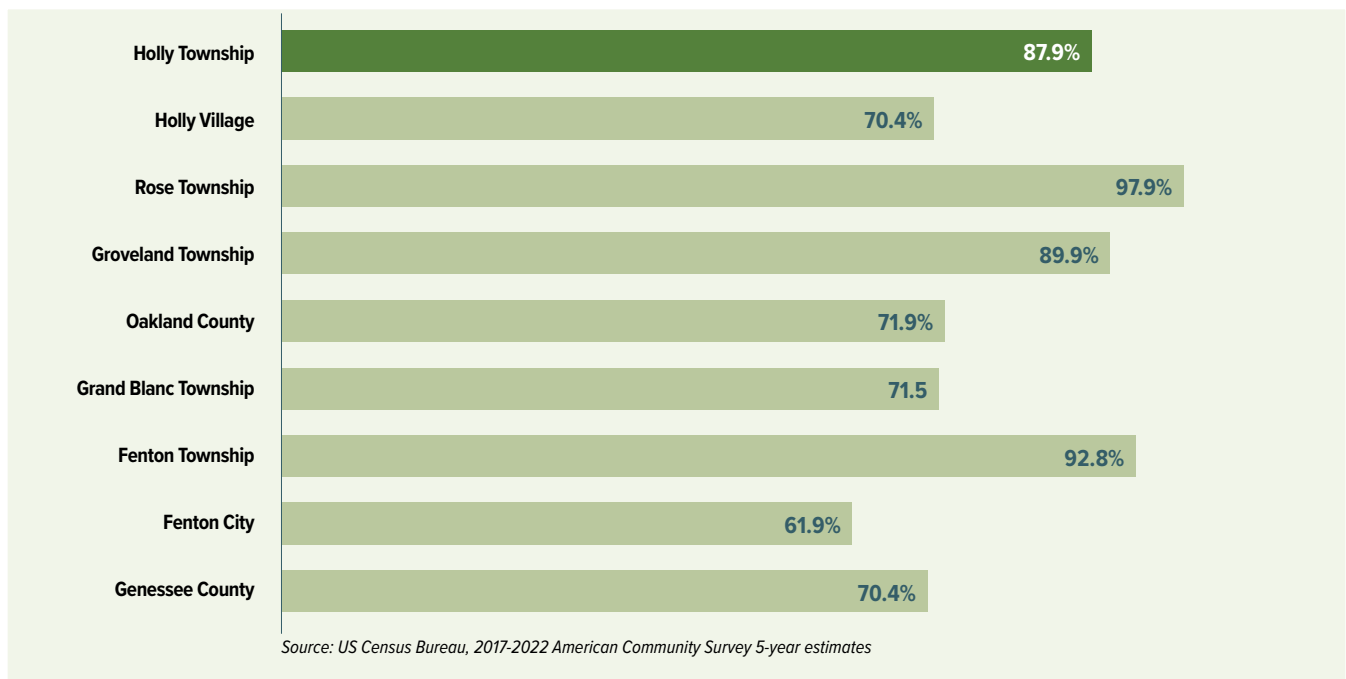
Figure M depicts median income levels in regard to the local region around Holly Township. Holly Township is on the lower end for median income in the area at about \$63,000, and has fallen behind Oakland County which stands at approximately \$86,000, but remains above Genesee County by about \$10,000.

Figure O shows Holly at only an estimated 5.7% unemployment rate in 2021, a common trend across the region and country during the time period. However, in 2021 the percentage of families under economic hardship was noticeably higher than surrounding communities.

## HOUSING CHARACTERISTICS

The percentage of owner-occupied housing in Holly Township, approximately 87.9%, falls in the middle when compared to the surrounding communities listed in **Figure P**. The 87.9% figure is approximately seven percentage points higher than the average owner-occupied housing percentage for surrounding communities. Holly Township has one of the stronger owner-occupied housing populations in the area, though it has decreased since 2013 when this figure was at 89.8%, showing an increase in renters in the Township.

**Figure P. Owner Occupied Housing –2022**



The median housing value, inversely related to median rent, is in the middle when compared to the median housing value for surrounding communities. At approximately \$180,500, nearly \$90,000 below Oakland County, Holly Township has the fifth highest median housing value in comparison to the surrounding area, which has remained unchanged since the last master plan was released in 2015. While the median rent in Holly Township was previously higher than all adjacent communities, including Oakland County at \$919, in 2023 it decreased to \$868. Given all of the turmoil in the housing market since the COVID-19 pandemic in 2020, it is hard to conclude why these figures have changed the way they have. However, in an increasingly high cost market, having affordable options is considered a major benefit for residents.

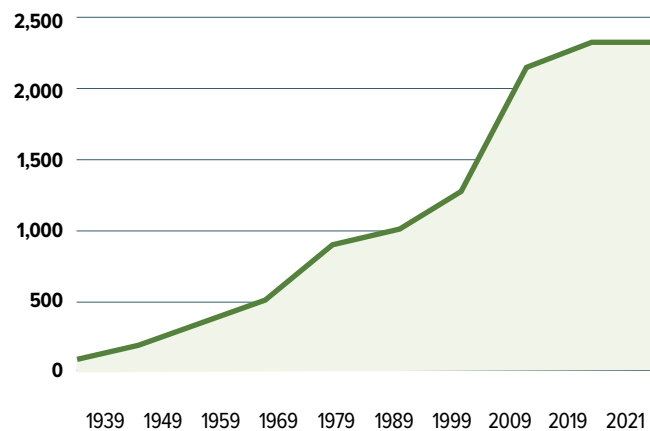
Half of the existing housing stock in Holly Township was constructed before 1990. The greatest percentage of new housing stock, 31%, was built between 2000 and 2010. Figure Q depicts the age composition of the housing stock in Holly Township. Figure R describes the change in housing types from 2010 to 2020, and describes the composition of housing types within Holly Township. Of the listed housing types, single family homes make-up the largest number of housing types in the community. Similar to the prior decade, between 2010 and 2020, townhouses/attached condos and mobile homes/manufactured houses experienced more growth. Specifically, mobile homes/manufactured homes saw a 78% increase, and townhouses/attached condos saw a 42% increase. In a more dramatic trend, Multi-Unit Apartments experienced a 2,967% increase with the introduction of 178 additional units in the Township. Single-family homes, though the largest component of housing in Holly, experienced a 2% decrease, or a loss of 27 units, with the only other decline occurring in duplexes with a loss of seven units. This is like a result of demolition of dilapidated homes or homes being cleared for other types of development.

**Table 6. Housing Tenure, Median Rent, and Median House Value – Holly Township and Related areas in Oakland and Genesee County, 2021**

|  | Holly Township | Holly Village | Rose Township | Groveland Township | Oakland County | Grand Blanc Township | Fenton Township | Fenton City | Genesee County |
|--|----------------|---------------|---------------|--------------------|----------------|----------------------|-----------------|-------------|----------------|
| <b>Occupied housing units</b>            | 2,219          | 2,845         | 2,369         | 2,284              | 520,393        | 15,914               | 6,497           | 5,011       | 164,905        |
| <b>% Owner-occupied</b>                  | 83.4%          | 67.1%         | 97.4%         | 90.1%              | 71.7%          | 71.1%                | 92.6%           | 61.2%       | 70.5%          |
| <b>% Renter-occupied</b>                 | 16.6%          | 32.9%         | 2.6%          | 9.9%               | 28.3%          | 28.9%                | 7.1%            | 38.8%       | 29.5%          |
| <b>Median Rent (2021 dollars)</b>        | \$868          | \$847         | \$952         | \$1,091            | \$1,156        | \$908                | \$1,079         | \$1,116     | \$829          |
| <b>Median House Value (2021 dollars)</b> | \$180,500      | \$133,400     | \$271,200     | \$262,400          | \$268,600      | \$185,300            | \$283,700       | \$168,500   | \$133,700      |

Source: US Census Bureau, 2016-2021 American Community Survey 5-year estimates

**Figure Q. Age of Housing Stock (Cumulative, Existing)**



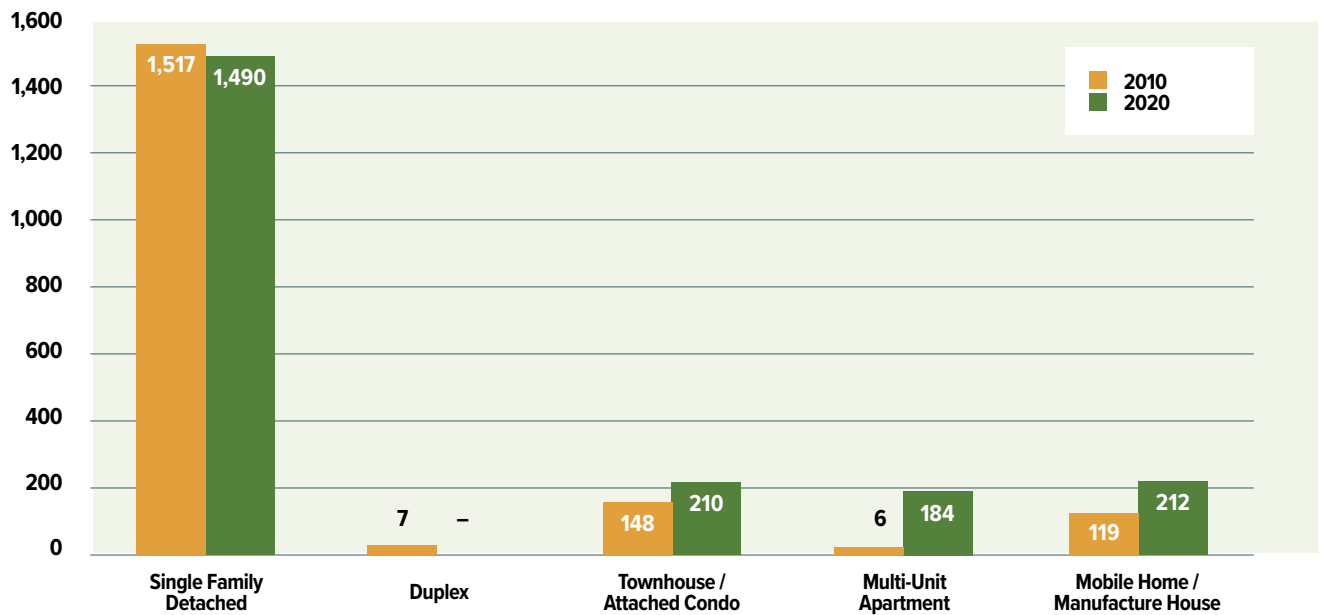
Source: US Census Bureau, 2016-2021 American Community Survey 5-year estimates

**Table 7. Housing Types – Holly Township, 2010 and 2020**

| Housing Type                       | 2010         | 2020         | Change 2010-2020 | % Change 2010-2020 |
|------------------------------------|--------------|--------------|------------------|--------------------|
| Single Family Detached             | 1,517        | 1,490        | (27)             | -2%                |
| Duplex                             | 7            | -            | (7)              | -100%              |
| Townhouse / Attached Condo         | 148          | 210          | 62               | 42%                |
| Multi-Unit Apartment               | 6            | 184          | 178              | 2967%              |
| Mobile Home / Manufactured Housing | 119          | 212          | 93               | 78%                |
| <b>Total</b>                       | <b>1,797</b> | <b>2,096</b> | <b>299</b>       | <b>17%</b>         |

Sources: US Census Bureau, American Community Survey 5-Year Estimates (Table DP04)

**Figure R. Housing Types**



Sources: US Census Bureau, American Community Survey 2021 5-Year Estimates

# Housing Analysis

## PURPOSE

The purpose of this study is to examine the demand for housing units in Genesee, Oakland, and Livingston Counties, with particular focus on Holly Township, to inform the Township’s housing policies in this Master Plan. This study includes a detailed analysis of housing market data from the US Census, ESRI (Environmental Systems Research Institute, Inc.), and other sources. ESRI is an American multinational geographic information system (GIS) software company that specializes in geographic information system (GIS) software, location intelligence, and mapping. The conclusions of this study are designed to initiate policy discussions with Township officials and stakeholders, especially related to zoning decisions and other Master Plan implementation action items.

## SUMMARY OF ANALYSES

This study features several areas of analysis:

- » Analysis of the underlying demographic trends that impact the housing market, including population projections
- » Analysis of the overall supply and demand for housing, including a breakdown of “For Sale” vs “For Rent” units
- » Projection of the population to 2030 and 2040, with accompanying projections of long-term housing trends
- » A build-out analysis of the Future Land Use Map, to understand how fast the housing build-out envisioned in the plan should occur in order to keep pace with market demand.

## SCOPE AND LIMITATIONS

This report is based on estimates, assumptions, and other information developed from market research and knowledge of the industry. Sources of information and the basis of estimates are stated in the report.

The conclusions of this report rely on standards set by national organizations and data derived from outside market research organizations. Additionally, they are based on the assumptions stated in this report. The conclusions and supporting data in this report are subject to change based on evolving market conditions. This report is intended to quantify the market for new housing development and is not intended to be used as a financial projection.

## DATA SOURCES

Data for this report comes from the following sources, which are cited where appropriate:

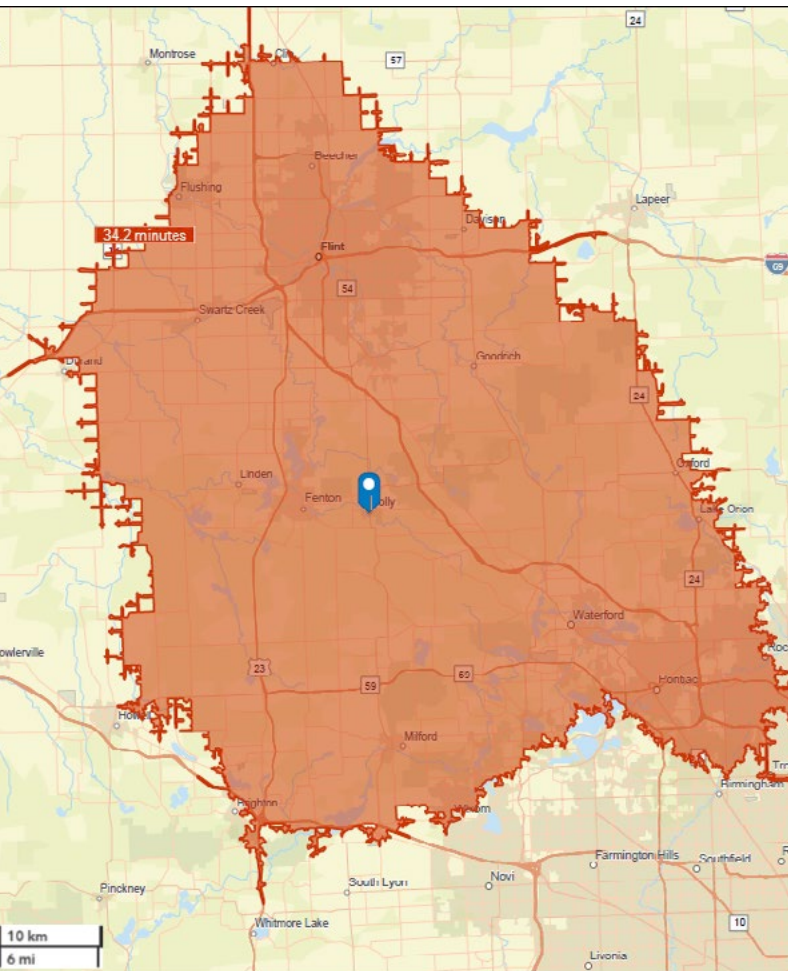
- » US Census
  - 2010 Decennial Headcount
  - 2019 American Community Survey
  - 2020 Decennial Headcount
- » ESRI Business Analyst
- » National Association of Realtors

### TRADE AREA

Markets do not stop at municipal borders. When households seek housing in the Holly area, they do not look solely within Holly Township, or any other specific community. Thus, the geographic extent of the housing market is more realistically the area where someone can live and comfortably commute into Holly Township. To estimate this area, McKenna used the average commute time in the Township (34.2 minutes) and mapped the area where a commuter could reach the center of the Village of Holly in that time.

The resulting Trade Area is shown on the map below. The Trade Area incorporates a large swath of Genesee, Oakland, and Livingston Counties, reaching as far west as Durand, as far north as Clio, as far east as Rochester, and as far south as Brighton. **The Trade Area has a total population of 944,198 people, according to the 2020 Census.**

Figure 5. Housing Trade Area



### POPULATION PROJECTION

To project the population in the future, McKenna used a Cohort-Component Population Projection. Cohort-Component Population Projections are developed using the following methodology:

**Cohort-Component:** The population is divided into ten-year age cohorts, using US Census data. At each ten-year interval, individual age cohorts are moved up the ladder. For instance, the group that was 30-40 years old in 2010 became the 40-50-year-olds in 2020, minus those who die during that time frame based on the mortality rate for their age group. For the 81+ age cohort, the number not projected to die during the ten-year period in question was carried over to the next decade. To calculate the number of people aged 0-10, the population of women of childbearing age was calculated and a 10-year birthrate per thousand (from the Michigan Department of Community Health) applied to give the number of births.

**Net Migration Calculation:** To account for migration, the population projection also includes a net migration factor. The net migration factor was calculated by running a Cohort-Component Analysis from 2010 to 2020 and comparing the results to the actual 2020 population data. The Cohort-Component Analysis predicted a Township population of 5,788 people, compared to an actual population of 6,000. Therefore, the analysis estimates a net gain of 212 people that moved to the Township who would otherwise not be living there. 212 people represents a **+3.5% net migration rate for the decade from 2010 to 2020.**

For the purposes of this analysis, the net migration rates are assumed to hold constant through the 20-year projection period. The results of the population projection are shown below:

Table 8. Trade Area Population Projection

|                       | 2020    | 2030 (Projected) | 2040 (Projected) |
|-----------------------|---------|------------------|------------------|
| <b>Holly Township</b> | 6,000   | 6,650            | 7,142            |
| <b>Trade Area</b>     | 944,198 | 1,033,616        | 1,090,242        |

Source: US Census, ESRI, McKenna Calculation



## HOUSING SUPPLY

Holly Township contains less than 1% of the Trade Area's housing stock. The Township added 299 new units between 2010 and 2020, a much faster pace of housing stock growth (+16.6%) than the Trade Area (+1.4%). The Township has a similar proportion of rental units to the Trade Area at large, and a similar median rent.

The median home value in the Township is lower than that of the region, but that indicates potential affordability for first-time homebuyers, which has become a concern in many regions, including Southeast Michigan.

**Table 9. Characteristics of Housing Supply**

|                       | Number of Housing Units, 2020 | Change in Units 2010-2019 | Owner-Occupied* | Renter-Occupied* | Median Rent | Median Home Value |
|-----------------------|-------------------------------|---------------------------|-----------------|------------------|-------------|-------------------|
| <b>Holly Township</b> | 2,096                         | +299<br>(+16.6%)          | 73.3%           | 26.7%            | \$775       | \$180,300         |
| <b>Trade Area</b>     | 407,790                       | +5,743<br>(+1.4%)         | 72.6%           | 27.4%            | \$744       | \$267,164         |

Source: US Census, ESRI \*Also includes for-sale and for-rent units.

**Table 10. Housing Tenure by Age of Householder – Holly Township**

| Age of Householder    | Owner-Occupied | Renter-Occupied |
|-----------------------|----------------|-----------------|
| <b>Under 35 Years</b> | 53.1%          | 46.9%           |
| <b>35 to 44 Years</b> | 67.0%          | 33.0%           |
| <b>45 to 54 Years</b> | 70.6%          | 29.4%           |
| <b>55 to 64 Years</b> | 90.5%          | 9.5%            |
| <b>65 to 74 Years</b> | 91.3%          | 8.7%            |
| <b>75 to 84 Years</b> | 79.7%          | 20.3%           |
| <b>85+ Years</b>      | 45.0%          | 55.0%           |

Source: US Census

## HOUSING TYPE

The table below consolidates Census categories into more descriptive categories, to allow for at-a-glance understanding of the housing supply. The following describes which Census categories are included in each category in the table:

- » **Single Family** = 1 Unit, Detached
- » **Townhouse/Duplex** = 1 Unit, Attached and 2 Units
- » **Large Multi-Family** = 3 or More Units
- » **Manufactured Housing** = Mobile Home

Most housing in Holly Township is Single Family Homes. That is very common in Michigan, especially in suburban and rural communities. The Trade Area also has predominantly single family homes.

**Table 11. Units in Structure – 2020**

|                             | Holly Township | Trade Area |
|-----------------------------|----------------|------------|
| <b>Single Family</b>        | 71.1%          | 74.1%      |
| <b>Townhouse / Duplex</b>   | 10.0%          | 6.4%       |
| <b>Multi-Family</b>         | 8.8%           | 14.5%      |
| <b>Manufactured Housing</b> | 10.1%          | 4.9%       |

Source: US Census, ESRI

### AGE OF HOUSING STOCK

The age of the housing stock can provide important insights for a community, as the conditions of the housing stock may be related directly to its age. Older housing stock can also provide a sense of character to the community. Traditionally, major repairs or rehabilitation (new roof system, upgraded heating and cooling units, exterior siding) are needed when the housing structure reaches an age of 30 years. Communities where a substantial proportion of the housing stock is more than 30 years old typically initiate programs to encourage reinvestment.

Holly Township saw a housing boom between 2000 and 2010, with nearly 40% of its housing stock being built in that decade. Combined with the decade from 2010 to 2020, nearly half of the Township's housing was built in the 21st Century. However, in the coming years, housing built around the year 2000 will start to hit the 30 year mark, and may need upgrades.

The Trade Area as a whole saw housing built in different places at different times. Legacy communities like Flint and Pontiac had housing booms before World War II, built-out suburbs like Burton had housing booms in the Mid-20th Century, and growing communities like Milford had housing booms around the turn of the Millennium, similar to Holly Township.

Table 12. Year of Construction for Units

|                       | Before 1939 | 1940-1959 | 1960-1979 | 1980-1999 | 2000-2019 | After 2020    |
|-----------------------|-------------|-----------|-----------|-----------|-----------|---------------|
| <b>Holly Township</b> | 2.3%        | 12.5%     | 22.4%     | 17.0%     | 45.8%     | Not Available |
| <b>Trade Area</b>     | 9.1%        | 19.2%     | 30.1%     | 26.6%     | 14.9%     | 0.1%          |

Source: US Census, ESRI

## HOUSING DEMAND

### HEADSHIP AND HOMEOWNERSHIP RATES

The headship rate is the number of households in each age group divided by the population in that age group. By definition, a household resides in a dwelling unit under its control. Using the data in Table 13 we can calculate the propensity of the population in each age cohort to 1) form a household based on the headship rate, and 2) own or rent a dwelling unit. Notably, roommates or a romantic couple living together are considered “co-heads” of a household, and only one person is counted as the “head” for the purposes of the headship rate.

Headship rate data is provided by the National Association of Home Builders. National data is used for headship because it is not available for smaller geographies. The assumption, for the purposes of this analysis, is that Oakland County’s headship rates are roughly similar to the nation at large.

For the homeownership rate, the State of Michigan’s rate is used to create a “baseline” of homeownership demand for the Township and Trade Area. Using the national rate would incorporate regions where homeownership rates are lower, and over-state demand for rental housing. Using a more local or countywide rate would be circular logic, merely repeating what is already going on in the housing market, and not allowing for the analysis to show inefficiencies. Therefore, the statewide rate is used.

Table 13. Homeownership and Headship Rates – 2020

| Age   | Population (Township) | Population (Trade Area) | Headship Rate (United States) | Homeownership Rate (Michigan) |
|-------|-----------------------|-------------------------|-------------------------------|-------------------------------|
| 20-29 | 636 (11%)             | 121,969 (13%)           | 39.2%                         | 44.1%                         |
| 30-39 | 741 (12%)             | 115,484 (12%)           | 54.3%                         | 68.6%                         |
| 40-49 | 730 (12%)             | 120,430 (13%)           | 56.7%                         | 75.4%                         |
| 50-59 | 867 (15%)             | 130,989 (14%)           | 58.5%                         | 79.9%                         |
| 60-69 | 838 (14%)             | 122,076 (13%)           | 63.6%                         | 83.3%                         |
| 70-79 | 402 (7%)              | 77,719 (8%)             | 64.4%                         | 83.7%                         |
| 80+   | 191 (3%)              | 40,921 (4%)             | 54.1%                         | 72.2%                         |

Source: U.S. Census, National Association of Home Builders.

Table 14. Demand Calculation Explanation

| Population     | Households                             | Homeowners                                  | Renters                 |
|----------------|--|---|-------------------------|
| US Census 2020 | Population x Headship Rate in Table 11 | Households x Homeownership Rate in Table 11 | Households - Homeowners |

Table 15. Estimated Homeowner/Renter Demand by Age Group – Holly Township, 2020

| Age Group     | Population | Total Households | Homeowner Households | Renter Households |
|---------------|------------|------------------|----------------------|-------------------|
| 20-29         | 636        | 249              | 110                  | 139               |
| 30-39         | 741        | 402              | 276                  | 126               |
| 40-49         | 730        | 414              | 312                  | 102               |
| 50-59         | 867        | 507              | 406                  | 102               |
| 60-69         | 838        | 533              | 444                  | 89                |
| 70-79         | 402        | 259              | 217                  | 42                |
| 80+           | 191        | 103              | 75                   | 29                |
| <b>Total:</b> |            | <b>2,468</b>     | <b>1,839</b>         | <b>629</b>        |
|               |            |                  | <b>74.5%</b>         | <b>25.5%</b>      |

Source: US Census Bureau, National Association of Home Builders, McKenna Calculations

Table 16. Estimated Homeowner/Renter Demand by Age Group – Trade Area, 2020

| Age Group     | Population | Total Households | Homeowner Households | Renter Households |
|---------------|------------|------------------|----------------------|-------------------|
| 20-29         | 109,206    | 42,809           | 18,894               | 23,914            |
| 30-39         | 115,485    | 62,708           | 43,030               | 19,678            |
| 40-49         | 120,430    | 68,284           | 51,488               | 16,796            |
| 50-59         | 130,989    | 76,629           | 61,281               | 15,348            |
| 60-69         | 122,077    | 77,641           | 64,704               | 12,937            |
| 70-79         | 77,317     | 49,792           | 41,697               | 8,095             |
| 80+           | 40,731     | 22,035           | 15,913               | 6,122             |
| <b>Total:</b> |            | <b>399,897</b>   | <b>297,007</b>       | <b>102,890</b>    |
|               |            |                  | <b>74.2%</b>         | <b>25.8%</b>      |

Source: US Census Bureau, National Association of Home Builders, McKenna Calculations

The ratio of demand for homeownership and rental properties (with approximately 74% of demand for homeownership properties) in the Township generally matches the ratio of owner-occupied units versus renter-occupied units (approximately 73% of the housing units are owner-occupied). The housing market in the Trade Area is similarly balanced from a tenure standpoint.

### COMPARISON OF DEMAND AND SUPPLY

There are 2,096 housing units in Holly Township. The demand model calculates demand for 2,496 households based on the population, which means 400 new housing units are needed to satisfy demand, and potential householders are not forming households. They are likely living with parents, adult children, or roommates, but if the housing stock was available, they would likely form their own household and occupy a housing unit. The additional housing unit demand is split approximately 75% for owner-occupied housing and 25% for rental housing, similar to the proportion of housing tenure in the Township currently.

Meanwhile, in the Trade Area, there is demand for 399,897 housing units, with 407,790 housing units available. In a reverse of the Township's market, there is available housing for new households to form. However, much of this housing is in disinvested neighborhoods in Flint and Pontiac, and is not appealing for householders with choice.

### PROJECTED TOWNSHIP HOUSING DEMAND – 2030 AND 2040

The purpose of projecting housing demand in 10- and 20-year increments is to understand the impact of the housing market on Township policy over the long term. The Master Plan is a forward-looking document with a 20-year time horizon, and therefore, this analysis uses the same time horizon. This report includes a build-out analysis of the Future Land Use Map, which is compared to this Demand Projection to ensure that the housing capacity described in the plan is reflective of the projected market.

Please note that this projection is limited to the parameters in the model and does not take into account unforeseen events or trends that could alter housing demand in the future.

Using the population projection described above and the headship and homeownership rates, the number of housing units demanded in the Township has been projected out to 2030 and 2040. The projection was modeled using the four net migration rates discussed earlier, to project different scenarios.

**Table 17. Estimated Housing Demand, 2030-2040**

|                       | 2030                 |           |            |         |                 |                 |                 |                 |
|-----------------------|----------------------|-----------|------------|---------|-----------------|-----------------|-----------------|-----------------|
|                       | Projected Population |           | Households |         | Homeowners      |                 | Renters         |                 |
|                       | 2030                 | 2040      | 2030       | 2040    | 2030            | 2040            | 2030            | 2040            |
| <b>Holly Township</b> | 6,650                | 7,142     | 2,769      | 2,958   | 2,060 (74.4%)   | 2,178 (73.6%)   | 709 (25.6%)     | 779 (26.4%)     |
| <b>Trade Area</b>     | 1,033,616            | 1,090,242 | 441,216    | 455,253 | 327,373 (74.1%) | 338,173 (74.2%) | 113,843 (25.9%) | 117,080 (25.8%) |

Source: US Census, ESRI, McKenna Calculation

**Table 18. Change in Housing Demand in Holly Township and Trade Area, 2020-2040**

| Year        | Homeowners |            | Renters   |            | Total Housing Units Demanded |            |
|-------------|------------|------------|-----------|------------|------------------------------|------------|
|             | Holly Twp  | Trade Area | Holly Twp | Trade Area | Holly Twp                    | Trade Area |
| <b>2020</b> | 1,839      | 297,007    | 629       | 102,890    | 2,468                        | 399,897    |
| <b>2030</b> | 2,060      | 327,373    | 709       | 113,843    | 2,769                        | 441,216    |
| <b>2040</b> | 2,178      | 338,173    | 779       | 117,080    | 2,957                        | 455,253    |

Source: US Census Bureau, McKenna Calculations

## FUTURE LAND USE BUILD-OUT ANALYSIS

To determine whether the Township has planned for an appropriate amount of housing, and inform policy decisions related to planning and zoning, this report includes a build-out analysis of the Future Land Use Map. The total additional housing that could be built under the plan will be compared to the projected demand from all four housing demand scenarios, as well as the regional demand growth that could put development pressure on the Township above and beyond the analyzed scenarios.

The build-out analysis was conducted using the following steps:

1. Identifying undeveloped and underdeveloped parcels that are planned for housing on the Future Land Use Map. "Underdeveloped" parcels were defined on those that have a current active non-agricultural use but are well below the maximum permitted housing density permitted, and thus may be attractive for redevelopment. The parcels identified for the analysis are shown on the map on the following page.
2. Determining the number of acres available on undeveloped or underdeveloped parcels within each Future Land Use category.

Calculating the maximum number of housing units that could be built within each Future Land Use category, based on the maximum density. Twenty percent of the total acreage was removed from each category to account for infrastructure, open space, drainage, and other non-housing site features.

## FUTURE LAND USE CATEGORIES

The Future Land Use Categories used in this analysis were as follows. The density numbers indicate the maximum density permitted by the Zoning Districts associated with the Future Land Use categories. Because the Rural Town Center density is a range, 8 units per acre was used as an average for the sake of this analysis. In order for the maximum density to be permitted, the parcel in question must have access to sewer.

- » **Rural Estate**  
(Maximum 0.4 Units Per Acre)
- » **Low Density Estate Residential**  
(Maximum 1 Unit Per Acre)
- » **Neighborhood Residential**  
(Maximum 3 Units Per Acre)
- » **Rural Town Center**  
(Maximum 8 Units Per Acre)
- » **Manufactured Housing Park**  
(Maximum 10 Units Per Acre)

## HOUSING CAPACITY

The table below shows the available acreage (i.e. acreage designated as "vacant" in the Existing Land Use Map, and not within a "Sending" Zone under the Township's Transfer of Development Rights system) in each Future Land Use category. Acres and housing units have been rounded to the nearest whole number. The acreage is reduced to 80% of the total to account for land for infrastructure and open space.

Table 19. Master Plan Build-Out Analysis

| FLU Category                          | Available Acreage |     | Units Per Acre | Total Units  |
|---------------------------------------|-------------------|-----|----------------|--------------|
|                                       | Total             | 80% |                |              |
| <b>Rural Estate</b>                   | 52                | 42  | 0.4            | 17           |
| <b>Low Density Estate Residential</b> | 101               | 81  | 1.0            | 81           |
| <b>Neighborhood Residential</b>       | 715               | 518 | 3.0            | 1,715        |
| <b>Rural Town Center</b>              | 100               | 80  | 8.0            | 639          |
| <b>Manufactured Housing Park</b>      | 54                | 43  | 10.0           | 347          |
| <b>Total:</b>                         |                   |     |                | <b>2,798</b> |

Source: McKenna Calculation

The buildout analysis concludes that the Future Land Use Plan would allow for 2,798 new housing units. Given that there are **2,096 housing units in the Township**, the Future Land Use Plan provides an opportunity for housing to increase to a **full-build out capacity of 4,894 housing units**.

Table 20. Projected Housing Capacity Used

| Year        | Total Housing Units Demanded | Housing Capacity (Per Future Land Use Plan) | Percentage of Capacity Used |
|-------------|------------------------------|---|-----------------------------|
| <b>2030</b> | 2,769                        | 4,894                                       | 56.6%                       |
| <b>2040</b> | 2,957                        | 4,894                                       | 60.4%                       |

Source: McKenna Calculation

# Economic Base

## EMPLOYMENT CHARACTERISTICS

Holly Township has a diverse job base as seen in [Table 21](#). The Village and Township virtually split the employed concentration of the population, with the Village holding a slight edge at 2,711 employed residents over the age of 16. Nearly half of all employed residents work in the management, business, and science and arts sector, while the next most common occupation is sales and office occupations at just 21% of employed residents.

The largest employers in the Holly Community include: Delta Tube and Fabricating Corp., Holly Schools, Camp Copneconic, Rose Hill Center, Mission Point Nursing & Physical Rehabilitation Center of Holly, and Shannon Precision Fastener. There are a variety of other places of employment, but the list in [Table 22](#) represents what key employment assets the community has. The largest employers are all involved in the base economic sector, including manufacturing, education, health services, and tourism. These industries serve not only the local population but provide an influx of revenue from outside the community.

**Table 21. Employment by Occupation for Residents – Holly Township and Related Areas in Oakland and Genesee County, 2021**

|   | Holly Township | Holly Village | Rose Township | Groveland Township | Oakland County | Grand Blanc Township | Fenton Township | Fenton City | Genesee County |
|---|----------------|---------------|---------------|--------------------|----------------|----------------------|-----------------|-------------|----------------|
| Civilian employed population 16 years and over  | 2,583          | 2,711         | 2,902         | 2,896              | 656,612        | 18,814               | 7,581           | 6,007       | 171,990        |
| Management, business, science, and arts         | 48%            | 35%           | 39%           | 46%                | 52%            | 45%                  | 44%             | 47%         | 33%            |
| Service   | 12%            | 22%           | 17%           | 12%                | 13%            | 15%                  | 14%             | 16%         | 19%            |
| Sales and office                                | 21%            | 17%           | 19%           | 20%                | 20%            | 20%                  | 23%             | 17%         | 21%            |
| Extraction, construction, and maintenance       | 9%             | 5%            | 18%           | 10%                | 5%             | 5%                   | 6%              | 6%          | 8%             |
| Production, transportation, and material moving | 11%            | 21%           | 8%            | 13%                | 10%            | 15%                  | 14%             | 14%         | 19%            |

Source: US Census Bureau American Community Survey 2021 5-Year Estimates



Mission Point Nursing & Rehabilitation Center

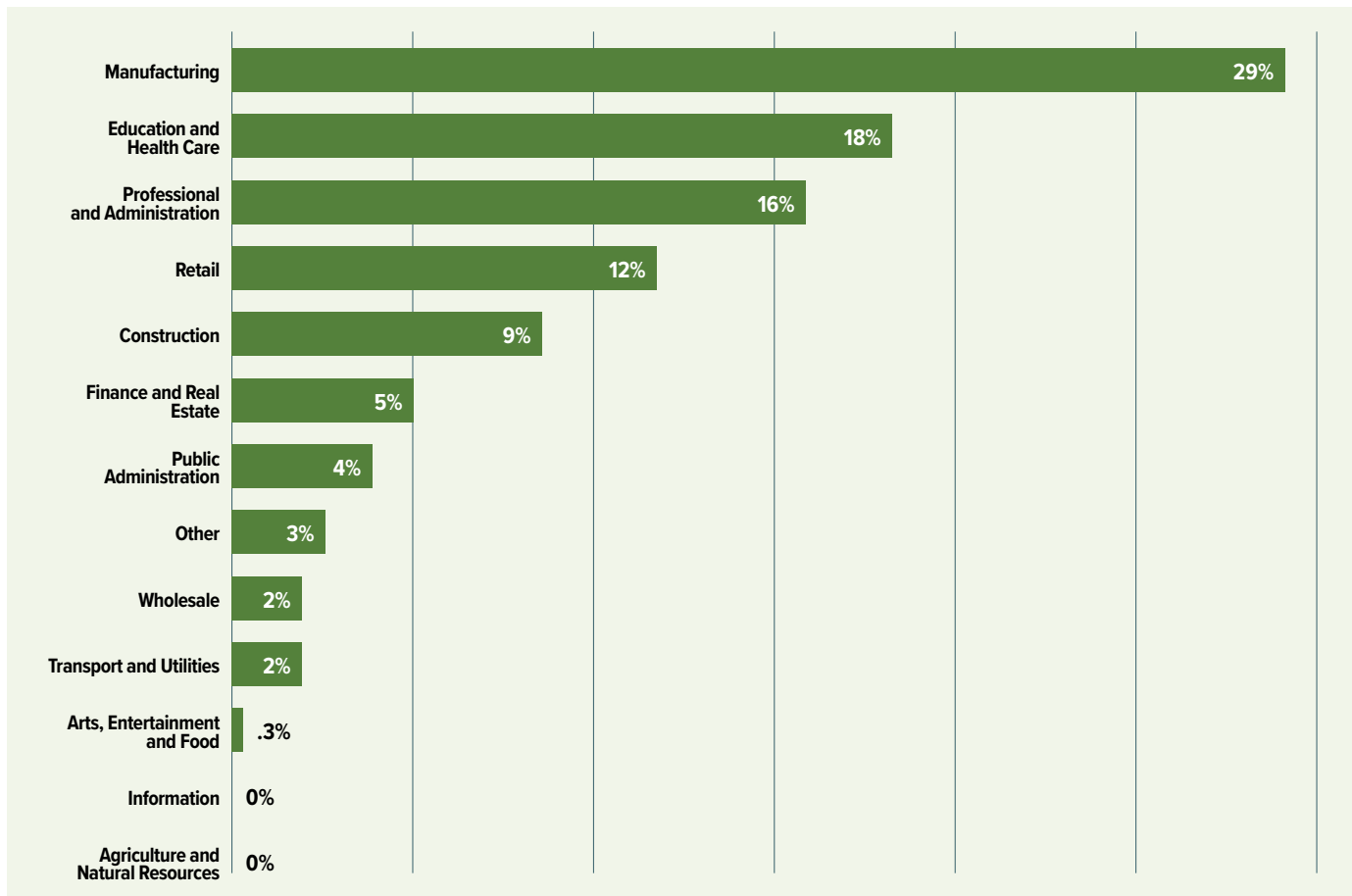
**Table 22. Major Employers in the Holly Community – 2023**

| Company   | Specialty                                 |
|---|---|
| Shannon Precision Fastener                                      | Automotive Distribution and Manufacturing |
| Mission Point Nursing & Physical Rehabilitation Center of Holly | Nursing & Convalescent Homes              |
| Delta Tube & Fabricating Corp                                   | Tubing-Metal-Fabricators                  |
| Rose Hill Center  | Mental Health Services                    |
| Camp Copneconic   | Camps                                     |
| Benjamin H Sherman School                                       | Schools                                   |
| Holly High School   | Schools                                   |
| Holly Academy   | Schools                                   |
| Karl Richter Campus School                                      | Schools                                   |
| Patterson Elementary School                                     | Schools                                   |

Source: McKenna 2023

Labor force characteristics for the Holly Township are presented below in Figure T. The figure shows that nearly a third of Holly Township’s employed residents work in the manufacturing sector. A significant portion of residents work in education and health care, professional and admin, and retail.

**Figure T. Employment by Industry – Holly Township, 2021**



Source: US Census Bureau, 2016-2021 American Community Survey 5-year estimates

### TAX BASE

Holly Township's total State Equalized Value (S.E.V.) of real and personal property has been steadily increasing since the Great Recession, reaching \$285.8 million in 2014, \$259.7 million representing taxable value. This value was higher than both Groveland Township and Rose Township at the time. The large amounts of publicly owned land in Holly contributes to how much tax revenue can be generated. In 2023, Holly's S.E.V. rose to \$351,649,930, which lagged behind Rose and Groveland Townships. **Table 23** depicts the S.E.V. and taxable value of Holly Township and its comparison to surrounding communities, while **Table 24** analyzes real property by class.

**Table 23. Equalized and Taxable Value of Real and Personal Property – Holly Township and Related Areas in Oakland County, 2023**

|                           | Equalized Value  | Taxable Value    |
|---------------------------|------------------|------------------|
| <b>Holly Community</b>    | \$612,844,020    | \$441,848,100    |
| <b>Holly Township</b>     | \$351,649,930    | \$287,427,820    |
| <b>Holly Village</b>      | \$261,194,090    | \$154,420,280    |
| <b>Rose Township</b>      | \$491,920,580    | \$348,965,140    |
| <b>Groveland Township</b> | \$388,452,070    | \$284,806,490    |
| <b>Oakland County</b>     | \$97,689,281,836 | \$74,880,625,314 |

Source: Oakland County Equalization Reports from 2023

### AVERAGE COMMUTE TIME

As depicted in **Table 25**, of the roughly 5,600 employed residents in the Holly Community, about 77% drive alone in a car, truck, or van while about 8% carpooled. The distribution for means of commuting travel to work is reflective of surrounding area trends. One item of note that has changed dramatically since the last master plan was released is the percentage of residents working from home, which increased from just 1.6% in 2013 to 12.8% in 2023. The COVID-19 pandemic and shifts in workplace culture across the country are likely to be the cause of this increase. The increase in employers who are willing to hire entirely remote or hybrid employees could have a long-term impact on the types of job opportunities that are available to Holly residents, allowing them to have more flexibility. Most of this increase is likely from the decrease in the percentage of residents who drove alone to work, which was 88% in 2013. Other means of commuting, including walking and “other means” saw increases during this period.

**Table 25. Means of Commuting to Work, Commute Time, and Place of Work for Residents – Holly Township and Village of Holly, 2023**

|                                    | Residents    | Percentage |
|------------------------------------|--------------|------------|
| Workers 16 years and over          | 5,581        | 100%       |
| » Car, truck, or van – drove alone | 4,309        | 77.2%      |
| » Car, truck, or van – carpooled   | 469          | 8.4%       |
| » Public transportation            | 0            | 0%         |
| » Walked                           | 50           | 0.9%       |
| » Other means                      | 33           | 0.6%       |
| » Worked at home                   | 714          | 12.8%      |
| Average commute time to work       | 33.2 minutes | -          |
| Worked in State of Residence       | 5,581        | 100%       |
| Worked in County of Residence      | 3,695        | 66.2%      |

Source: US Census Bureau, 2017-2022 American Community Survey 5-year estimates

**Table 24. Equalized and Taxable Value of Real Property by Class – Holly Community, 2023**

|   | Agricultural | Commercial   | Industrial   | Residential   | Total Real    |
|---|--------------|--------------|--------------|---------------|---------------|
| <b>Parcel Count</b>                               | 69           | 409          | 58           | 6,589         | 7,125         |
| <i>Equalized Value</i>                            | \$11,141,100 | \$94,830,740 | \$50,782,190 | \$667,785,470 | \$824,539,500 |
| <b>Equalized Value (% of total real property)</b> | 1.4%         | 11.5%        | 6.2%         | 81.0%         | -             |
| <i>Taxable Value</i>                              | \$4,843,190  | \$31,405,060 | \$4,254,220  | \$203,424,270 | \$243,926,740 |
| <b>Taxable Value (% of total real property)</b>   | 2.0%         | 12.9%        | 1.7%         | 83.4%         | -             |

Source: Oakland County Equalization Reports from 2023



# Emerging Sectors

Opportunities for Holly Township’s economic growth are not only dependent on its own assets, but can benefit from understanding and capitalizing on trends and actions that neighboring communities are involved in. Through targeted strategy, Holly Township can build a sustainable and successful community that is representative of its historical character, while progressively attracting concentrated growth. This section will include an analysis as to what and how the emerging trends and actions that are occurring in Oakland County, Genesee County, and Grand Blanc Township will impact Holly Township, as well as a retail gap analysis identifying retail market trends within and around the Township.

## NEIGHBORING EMERGING SECTOR STRATEGIES

Both Oakland County and Genesee County have implemented strategies that identify emerging trends with the goal of promoting job retention, creation, and economic diversification. The focus of each plan was to target high-tech, medical, and green technology industry sectors that represent potential future economic growth. **Table 26** depicts the sectors targeted in each of their respective Counties.

**Table 26. Targeted Emerging Sectors – Oakland and Genesee County**

| Oakland County                           |
|--|
| » Advanced Electronics                   |
| » Advanced Materials                     |
| » Aerospace                              |
| » Alternative Energy                     |
| » Communications and IT                  |
| » Defense and Homeland Security          |
| » Film & Digital Media                   |
| » Finance, Insurance & Real Estate       |
| » Medical Main Street                    |
| » Robotics                               |
| Genesee County                           |
| » Health care and Education              |
| » Finance, Insurance, and Real Estate    |
| » Professional, Technical, & IT Services |
| » Transportation & Utilities             |

Source: Oakland County Emerging Sector Plan; 2010 Flint Genesee Economic Development Strategy

Since its inception in 2004, Oakland County has attracted \$2.9 billion of business investment, creating 34,514 new jobs and retaining more than 18 thousand jobs. The details of Oakland County’s success can be seen in **Figure U** on the following page. Medical Main Street has attracted the largest amount of investment at \$976.8 million, while IT and Communications experienced that largest job growth at nearly 11 thousand new jobs.

The emerging sector strategy for Genesee County is encompassed within the 2010 Flint Genesee Economic Development Strategy. This document highlights four sectors that are expected to drive their economic growth for many years to come. The four targeted sectors can be seen to the left in **Table 26**. Projected job growth from targeted sector strategies is estimated to attract and create almost 9,000 new jobs from 2012 to 2022, with health care leading employment growth at 5,800 jobs. Other sectors that are expected to grow within the same time frame are accommodation and food services, manufacturing, and educational services. The plan goes on to say that these projections were deliberately conservative and that aggressive and cohesive leadership within the County could support additional growth statistics.

Grand Blanc Township, Holly Township’s northern border, is adopting an emerging sector strategy known as the Technology Village Area Plan. This targeted area encompasses 4,103 acres in south central Grand Blanc, and is designed to attract high-tech businesses and talented young residents. This area touts its connections to three high traffic and accessible interchanges, and expansive frontage along I-75. One of the three interchanges includes the Saginaw Road interchange (Dixie Highway), which sits on the border of Grand Blanc and Holly Township. The Technology Village Area Future Land Use Plan outlines their districting strategy. Much of the footprint is at capacity and can only accommodate infill development. Near the strategic area’s southern border and Saginaw Road interchange are large plats of vacant land. As seen in **Figure V**, Technology Village plans to target this property and develop it as Light Industrial and Research and Development Districts.

Figure U. Oakland County Emerging Sector Program Success Diagram

Source: Oakland County Advantage Oakland Initiative

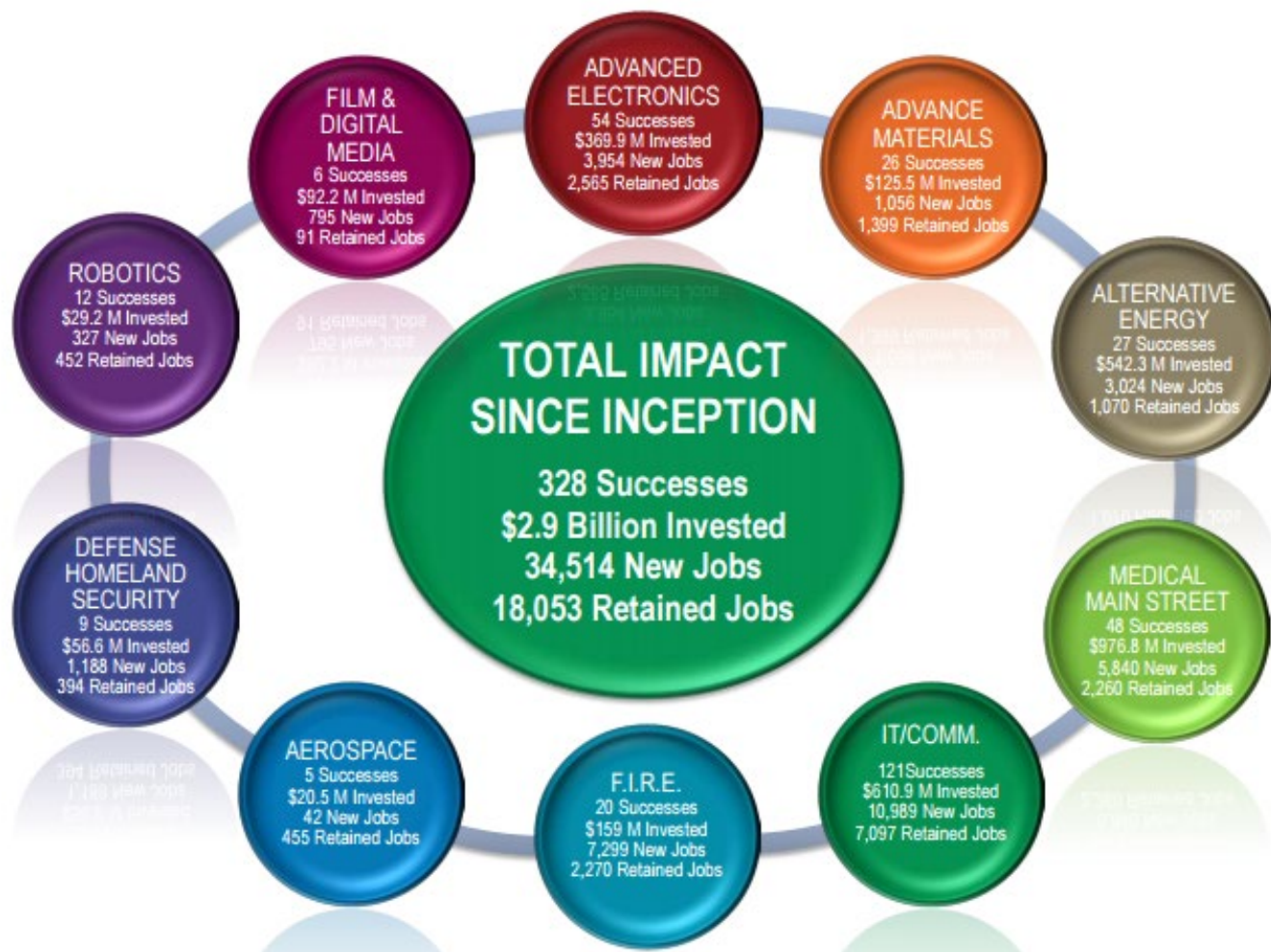


Figure V. Grand Blanc Township Technology Village Illustrative Plan

Source: <https://www.grandblancwpmi.gov/DocumentCenter/View/362/Tech-Village-Layout-PDF>



| Building Use Key |   |
|------------------|---|
|                  | Office/Medical Buildings - 4 Star<br>Ground Floor SF<br>-A- 186,110,000<br>-B- 15,700<br>-C- 15,700<br>-D- 15,700<br>-E- 15,700<br>-F- 15,700<br>-G- 15,700<br>-H- 15,700<br>-I- 15,700<br>-J- 15,700<br>-K- 15,700<br>-L- 15,700<br>-M- 15,700<br>-N- 15,700<br>-O- 15,700<br>-P- 15,700<br>-Q- 15,700<br>-R- 15,700<br>-S- 15,700<br>-T- 15,700<br>-U- 15,700<br>-V- 15,700<br>-W- 15,700<br>-X- 15,700<br>-Y- 15,700<br>-Z- 15,700 |
|                  | Retail - 15 Star<br>Ground Floor SF<br>-A- 15,700<br>-B- 15,700<br>-C- 15,700<br>-D- 15,700<br>-E- 15,700<br>-F- 15,700<br>-G- 15,700<br>-H- 15,700<br>-I- 15,700<br>-J- 15,700<br>-K- 15,700<br>-L- 15,700<br>-M- 15,700<br>-N- 15,700<br>-O- 15,700<br>-P- 15,700<br>-Q- 15,700<br>-R- 15,700<br>-S- 15,700<br>-T- 15,700<br>-U- 15,700<br>-V- 15,700<br>-W- 15,700<br>-X- 15,700<br>-Y- 15,700<br>-Z- 15,700                       |
|                  | Multi-Family - 15 Star<br>Ground Floor SF<br>-A- 15,700<br>-B- 15,700<br>-C- 15,700<br>-D- 15,700<br>-E- 15,700<br>-F- 15,700<br>-G- 15,700<br>-H- 15,700<br>-I- 15,700<br>-J- 15,700<br>-K- 15,700<br>-L- 15,700<br>-M- 15,700<br>-N- 15,700<br>-O- 15,700<br>-P- 15,700<br>-Q- 15,700<br>-R- 15,700<br>-S- 15,700<br>-T- 15,700<br>-U- 15,700<br>-V- 15,700<br>-W- 15,700<br>-X- 15,700<br>-Y- 15,700<br>-Z- 15,700                 |
|                  | Other - 15 Star<br>Ground Floor SF<br>-A- 15,700<br>-B- 15,700<br>-C- 15,700<br>-D- 15,700<br>-E- 15,700<br>-F- 15,700<br>-G- 15,700<br>-H- 15,700<br>-I- 15,700<br>-J- 15,700<br>-K- 15,700<br>-L- 15,700<br>-M- 15,700<br>-N- 15,700<br>-O- 15,700<br>-P- 15,700<br>-Q- 15,700<br>-R- 15,700<br>-S- 15,700<br>-T- 15,700<br>-U- 15,700<br>-V- 15,700<br>-W- 15,700<br>-X- 15,700<br>-Y- 15,700<br>-Z- 15,700                        |

| Parking Calculations                               |                     |
|--|---------------------|
| Office/Medical Buildings                           | 1,204 Spaces        |
| Retail   | 1,204 Spaces        |
| Multi-Family                                       | 773 Spaces          |
| Other  | 773 Spaces          |
| <b>Total Required Parking (All Uses Combined)</b>  | <b>2,954 Spaces</b> |
| <b>Total Available Parking (All Uses Combined)</b> | <b>2,954 Spaces</b> |

Notes:  
 - Extra Parking per the accommodative alternative building  
 - Extra Parking per the accommodative alternative building  
 - Extra Parking per the accommodative alternative building

# Grand Blanc Tech Village Illustrative Plan

Grand Blanc, Mich. December 2018



## LEVERAGING ASSETS AND TRENDS

Holly Township can benefit from the programs and initiatives that are being implemented within the local region by developing a comprehensive economic development plan that targets area trends as well as leverage local assets for sustainable and progressive growth. Holly Township possesses a high value and talented workforce, historic and entertainment trip generators, and character that cannot be found in any other surrounding community.

### ASSETS

Asset based economic development is a strategy for sustainable economic growth, building upon a community's existing strengths for long-term prosperity. Assets can be categorized into five categories; natural amenities, cultural and historical resources, human capital, current industries, and emerging industries. Holly Township's unique community possesses assets in each of the five categories, creating an attractive place to live, work, and play. Holly Township's assets include two high volume annual festivals, plentiful green space and trails, strategic positioning near major highway interchanges, and the Great Lakes National Cemetery, a historic cemetery where the founders of Holly Township and veterans from every major war since the Revolutionary War lay buried. The Renaissance and Dickens Festivals alone see more than one quarter of a million patrons each year. Holly Township is also home to the beautiful seven mile Shiawassee River Heritage Water Trail, connecting to Fenton. And lastly, this historic community is located amongst several well-connected railways that include the Lake State Railway Company (LSRC) and the expansive Canadian National Railway. Specifically, the LSRC is comprised of 375 operating miles of track, connecting from Plymouth in the south through its headquarters in Saginaw, up to Gaylord and Alpena. The Canadian National Railway is a Class I railway that serves Canada, and the Midwestern and Southern United States.



### TIE-IN WITH AREA INITIATIVES

With Oakland County, Genesee County, and Grand Blanc Township implementing strategies that target emerging sectors, and most notably Grand Blanc's nearby Technology Village plan that targets the Saginaw Road interchange, leveraging existing assets and capitalizing on surrounding trends could support sustainable and concentrated growth for the Township. Holly Township can attract businesses with their well-connected infrastructure and talented workforce (33% of employed community residents are working in the management, business, science, and arts sectors), and residents with their beautiful and active community that is located near many different employment centers and recreational and cultural opportunities. The three highlighted strategies play into Holly Township's strengths; technology based industries and residents who are involved in high-tech, health services, and education sectors. This reality can serve as a major economic attractor, and through smart growth strategies, produce a viable and sustainable future for Holly Township.

### RETAIL GAP ANALYSIS

A Retail Gap Analysis is a technique used for identifying the strengths and weaknesses of a local retail market. The analysis estimates if the number of local retail stores are meeting market demands for the community. This is analyzed through gathering how many retail dollars are coming into a community to purchase retail items, and if local residents are sending their dollars elsewhere in order to satisfy their retail needs, also known as out-shopping. This analysis is useful for understanding the gaps and potential retail market opportunities for the areas researched.

A Retail Gap Analysis of Holly Township's immediate area, as well as geographies in excess of one mile and five miles surrounding the jurisdiction, is depicted in [Table 27](#). At first glance, Holly Township's Retail Gap Analysis identifies retail store demands in seven of the 25 industry sectors, with surpluses only in Gasoline Stations, auto-part stores, florists, used merchandise stores, fast food restaurants, and liquor stores. Upon expanding the analysis boundary one mile outside of Holly Township, new store demands expand to a total of ten different industry sectors. The surpluses in industry sectors are even fewer in this geography, with only Gasoline Stations, used merchandise stores, and fast food restaurants exceeding local market demands. Lastly, after expanding the analysis boundary to five miles outside of Holly Township, there are no longer any industry sector surpluses and the list of new store demands expands to 19 different sectors.

**Table 27. Retail Gap Analysis – Holly Township and Surrounding Area, 2016**

| Holly Township                  |                     |
|---------------------------------|---------------------|
| Category                        | New Stores Demanded |
| Automobile Dealers              | 3                   |
| Health and Personal Care Stores | 1                   |
| Clothing Stores                 | 1                   |
| General Merchandise Stores      | 1                   |
| Full Service Restaurants        | 1                   |

| Holly Township Plus One Mile     |                     |
|----------------------------------|---------------------|
| Category                         | New Stores Demanded |
| Automobile Dealers               | 6                   |
| Electronics and Appliance Stores | 1                   |
| Grocery Stores                   | 1                   |
| Health and Personal Care Stores  | 2                   |
| Clothing Stores                  | 3                   |
| Shoe Stores                      | 1                   |
| Department Stores                | 1                   |
| General Merchandise Stores       | 2                   |
| Full Service Restaurants         | 4                   |
| Bars                             | 1                   |

| Holly Township Plus Five Miles          |                     |
|---|---------------------|
| Category                                | New Stores Demanded |
| Automobile Dealers                      | 4                   |
| Other Motor Vehicle Dealers             | 2                   |
| Auto Parts Stores                       | 3                   |
| Furniture Stores                        | 1                   |
| Home Furnishings Stores                 | 1                   |
| Electronics and Appliance Stores        | 3                   |
| Beer, Wine, and Liquor Stores           | 1                   |
| Health and Personal Care Stores         | 7                   |
| Gas Stations                            | 14                  |
| Clothing Stores                         | 14                  |
| Shoe Stores                             | 5                   |
| Jewelry or Luggage Stores               | 2                   |
| Sporting Goods, Hobby, and Music Stores | 1                   |
| Book Stores                             | 2                   |
| Department Stores                       | 1                   |
| Florists                                | 2                   |
| Full Service Restaurants                | 14                  |
| Fast Food Restaurants                   | 5                   |
| Bars                                    | 3                   |

Source: ESRI Retail Marketplace Profile

NOTE: Details regarding the Retail Gap Analysis can be in Appendix C.

# Community Services

The Township of Holly, governed by the Township Board, provides a variety of community services.

## FIRE AND POLICE SERVICES

The North Oakland County Fire Authority (NOCFA) proudly protects and serves the residents of Holly Township and Rose Township with a primary response area of 69 square miles, the largest in Oakland County. NOCFA delivers a full range of fire and emergency services from two fire/medical stations, one of which was newly constructed in 2009 in Holly Township. The department provides 24/7 fire suppression, rescue services and Hazmat Operations/Technical services. In addition, Basic Life Support and Advanced Life Support Ambulance are staffed for medical response and transports. The fire department has one full-time Fire Chief, one full time Captain who also serves as the departments training officer and 45 active paid-on-call members. Police protection is provided by the Michigan State Police.

## UTILITIES

Holly Township does not provide municipal water or sewer services. Both gas and electric service is supplied by Consumer's Energy. Holly is the only Township in the county that does not have electricity supplied by DTE. Cellular phone service is available throughout the Township. The range of towers and carriers in Holly has provided adequate coverage throughout the Township. AT&T, MetroPCS, and Verizon are carriers that provide service to residents and visitors to the Township. Cable service and high-speed internet is also available to most of the Township.

Even though the Township does not provide municipal sewer or water, two sewer and water districts are located in the Township. The first of these districts is located in the northeast corner of the Township, and is serviced by the Grand Blanc Township sewer system. The second district is located areas along the western boundary of the Village of Holly, and is serviced by the Village sewer system. The purpose of these districts is to permit extension of the sewer facilities from these communities into the Township, to permit higher intensity development which requires these services, and most importantly of all, protect the natural features in these areas.

## SCHOOLS

The Holly School District is comprised of approximately 4,000 students and employs approximately 500 part-time and full-time employees. The District is 124 square miles in size and encompasses all of Holly Township and Village, and also serves students from parts of Rose, Groveland, Springfield, and White Lake Townships. The district opened Holly High School in 1999 and Rose Pioneer Elementary, which opened in 1997. There are seven total school buildings including four elementary, one middle school, one high school, and one Special Services Building. The district also owns a camp in nearby Rose Township. There are also charter and private schools available within the Township. Holly Academy, located just east of Fish Lake Road south of Grange Hall, is a free charter school that serves kindergarten through eighth grade (K-8). Additionally, the District is in the process of constructing a new middle school and a Construction Trades Center. The new middle school, replacing the Sherman Campus Middle School, will be built on the site of the current Karl Richter Campus and is slated to open in fall 2025, following the trade center which is planned to open in spring 2024. Adelpian Junior Academy, which is associated with the local Seventh Day Adventist church, is also available for K-6 students.



# Parks and Recreation

As shown in [Map 7 on page 56](#), Holly Township is supplied with a wealth of all-season recreational resources. Several outstanding regional facilities are located within Township boundaries including two state recreation areas. A large private ski resort is located next to Holly Township in Groveland Township. The preservation and enhancement of these vast resources is an integral part of the future of Holly Township. [Table 28](#) contains detailed information about the parks and related facilities.

## STATE PARKS

- » **Holly State Recreation Area.** Holly State Recreation area consists of 7,817 acres of land, shared with Groveland Township to the East. Winter and summer sports are equally provided for including skiing, snowmobiling, hunting, boating, fishing, hiking and horseback trails. Mountain biking trails are also available, including four routes rated from beginner to expert. The recreation area includes 161 modern and semi-modern campsites and two mini-cabins. One of the cabins, the Rolston Rustic Cabin, is located within the park lands near McGinnis Road. Built in 1938, the cabin is located on a small pond and is available for rent year-round.

The State MDNR is also looking to expand the park boundaries in order to fill in any gaps between park lands, more specifically, the state plans to acquire the area between Holdridge Lakes and Crotched Lake in order to connect the existing park lands. Facility plans include expanding the trail system and possibly connecting up with the proposed Headwaters Trail system.

- » **Seven Lakes State Park.** Seven Lakes State Park is a relatively new park, opening in 1977. The land was purchased by the State in 1969 from a group of developers. The 1,444 acres that make up the State Park originally included a combination of farmland, rolling hills and forests. A multitude of activities are available for visitors, including trails for hiking, mountain biking, cross country skiing and snowmobiling. The 230 acres of water that give the park its name provide swimming, boating and fishing. Hunting, picnic areas, volleyball, basketball, softball, playground equipment and horseshoe pits are also available. A 71 site campground, which opened in 1992, sits on the edge of Sand Lake and provides a private beach for campers only. Plans for expansion include acquiring property along the northern and eastern boundary line in order to round out the property line. Over the last 10 years, the facility expanded the campground facilities.





## COUNTY PARKS

- » **Groveland Oaks County Park.** Groveland Oaks County Park is 400 acres of park land focused towards family camping. 600 modern and primitive campsites are available in addition to picnic areas, a waterslide, and swimming beach. It is open seasonally but provides no actual site developments to facilitate specific activities.

## TOWNSHIP PARKS

An elected board of seven (7) Township and Village residents operates Holly Township Parks.

- » **Holly Township Beach.** Holly Township Beach consists of 2.5 acres offering swimming, picnicking, shuffle board, sand volleyball, and play areas.
- » **Holly Heritage Farm Area.** Located on North Holly Road, this park features two farm houses dating back to the mid 1800s and a peg barn from the same period. In the last ten years the facility underwent a major restoration of its main barn, and also recently became the home of the historic Ernst Barn, disassembled from its former home at Waterford Oaks County Park.
- » **Harvey Sorenson Park (formerly Township Park II).** An additional Township park is located on the south side of East Holly Road within the Village of Holly. Softball fields, a picnic area, nature center, and five kilometers in trails exist in this 95 acre park.

Within the facilities (discussed above) are a number of year-round events and educational programs sponsored by the Holly Township Parks Department. Additional activities are also available throughout the year; information for such is provided at the Holly Township Parks office (248-634-1758 or [hollytwpparks@yahoo.com](mailto:hollytwpparks@yahoo.com)).

## VILLAGE PARKS

The Village of Holly has five local parks, totaling 20 acres, including Lakeside, Crapo, Cyclone, Water Works, and Ganshaw parks. Most parks offer picnicking and play areas, with ball fields provided at Cyclone and fishing available at Morris Fein Arboretum.



Holly State Recreation Area

Table 28. Recreational Facilities

| Activities        | Holly State Rec. Area | 7 Lakes State Park | Groveland Oaks County Park | Holly Twp. Park and Beach | Holly Twp. Sorensen Park | Lakeside Park | Crapo (Village) | Cyclone (Village) | Morris Fein (Village) | Mount Holly (Private) |
|-------------------|-----------------------|--------------------|----------------------------|---------------------------|--------------------------|---------------|-----------------|-------------------|-----------------------|-----------------------|
| Camping           | 161                   | 71                 | 600                        |                           |                          | ✓             |                 |                   |                       |                       |
| Picnic Areas      | ✓                     | ✓                  | ✓                          | ✓                         | ✓                        | ✓             | ✓               |                   |                       |                       |
| Shelters          | ✓                     | ✓                  | ✓                          |                           |                          | ✓             | ✓               |                   |                       |                       |
| Playground        | ✓                     | ✓                  | ✓                          | ✓                         |                          |               | ✓               |                   |                       |                       |
| Ball Diamond      | ✓                     | ✓                  | ✓                          |                           | ✓                        |               |                 | ✓                 |                       |                       |
| Swim Beach        | ✓                     | ✓                  | ✓                          | ✓                         |                          |               |                 |                   |                       |                       |
| Canoe/Boat Launch | ✓                     | ✓                  | ✓                          |                           |                          |               |                 |                   |                       |                       |
| Canoe/Boat Rental | ✓                     | ✓                  | ✓                          |                           |                          |               |                 |                   |                       |                       |
| Hiking Trail      | ✓                     | ✓                  | ✓                          |                           | ✓                        |               |                 |                   |                       |                       |
| Horse Trail       | ✓                     |                    |                            |                           |                          |               |                 |                   |                       |                       |
| Nature Center     |                       |                    |                            |                           | ✓                        |               |                 |                   |                       |                       |
| Fishing           | ✓                     | ✓                  | ✓                          |                           |                          |               |                 |                   | ✓                     |                       |
| Hunting           | ✓                     | ✓                  |                            |                           |                          |               |                 |                   |                       |                       |
| Downhill Ski      |                       |                    |                            |                           |                          |               |                 |                   |                       | ✓                     |
| Cross Country Ski | ✓                     | ✓                  | ✓                          |                           |                          |               |                 |                   |                       | ✓                     |
| Sledding          |                       | ✓                  |                            |                           |                          |               |                 |                   |                       |                       |
| Snowmobiling      | ✓                     |                    |                            |                           |                          |               |                 |                   |                       |                       |
| Ice Skating       |                       |                    |                            |                           |                          | ✓             |                 |                   |                       |                       |

**PUBLIC ACCESS BOAT LAUNCHES:**

Public access boat launches, operated by the state parks, are available throughout the Township. Table 29 lists the amenities available at each public boat launch.

Table 29. Boat Launches

| Location               | Name           | Restrooms | Parking | Water Acres |
|------------------------|----------------|-----------|---------|-------------|
| Holly Recreation Area  | Heron Lake     | Yes       | 48      | 132         |
|                        | Crotched Lake  | No        | 10      | 14          |
|                        | Holdridge Lake | No        | 10      | 16          |
| Seven Lakes State Park | Dickinson Lake | No        | 20      | 44          |
|                        | Big Seven Lake | Yes       | 12      | 170         |
| Village of Holly       | Bush Lake      | No        | N/A     | N/A         |

## SCHOOL FACILITIES

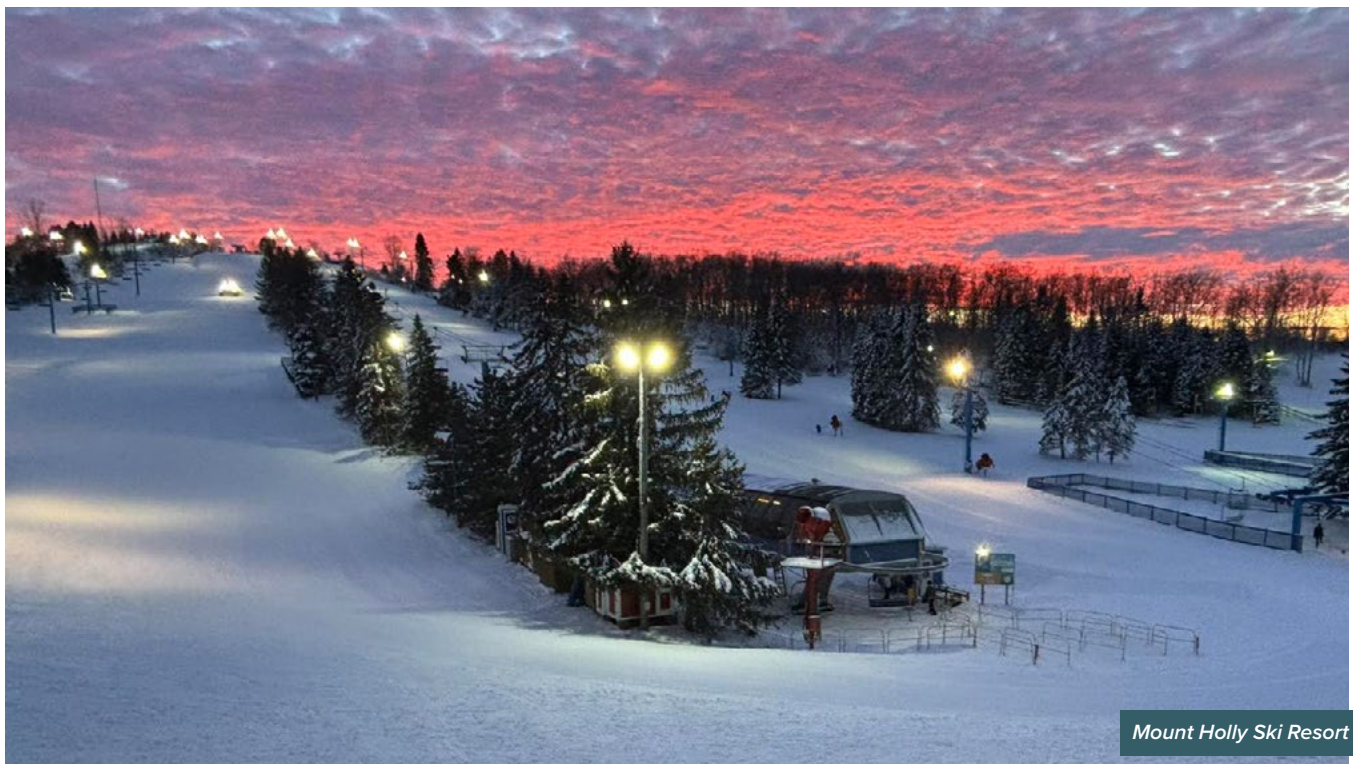
Outdoor recreation is also available at Holly area schools on an individual basis. The outdoor athletic fields and courts are accessible to the public when they are not in use by classes. School facilities offering recreation opportunities include the following:

**Table 30. School Recreation Areas**

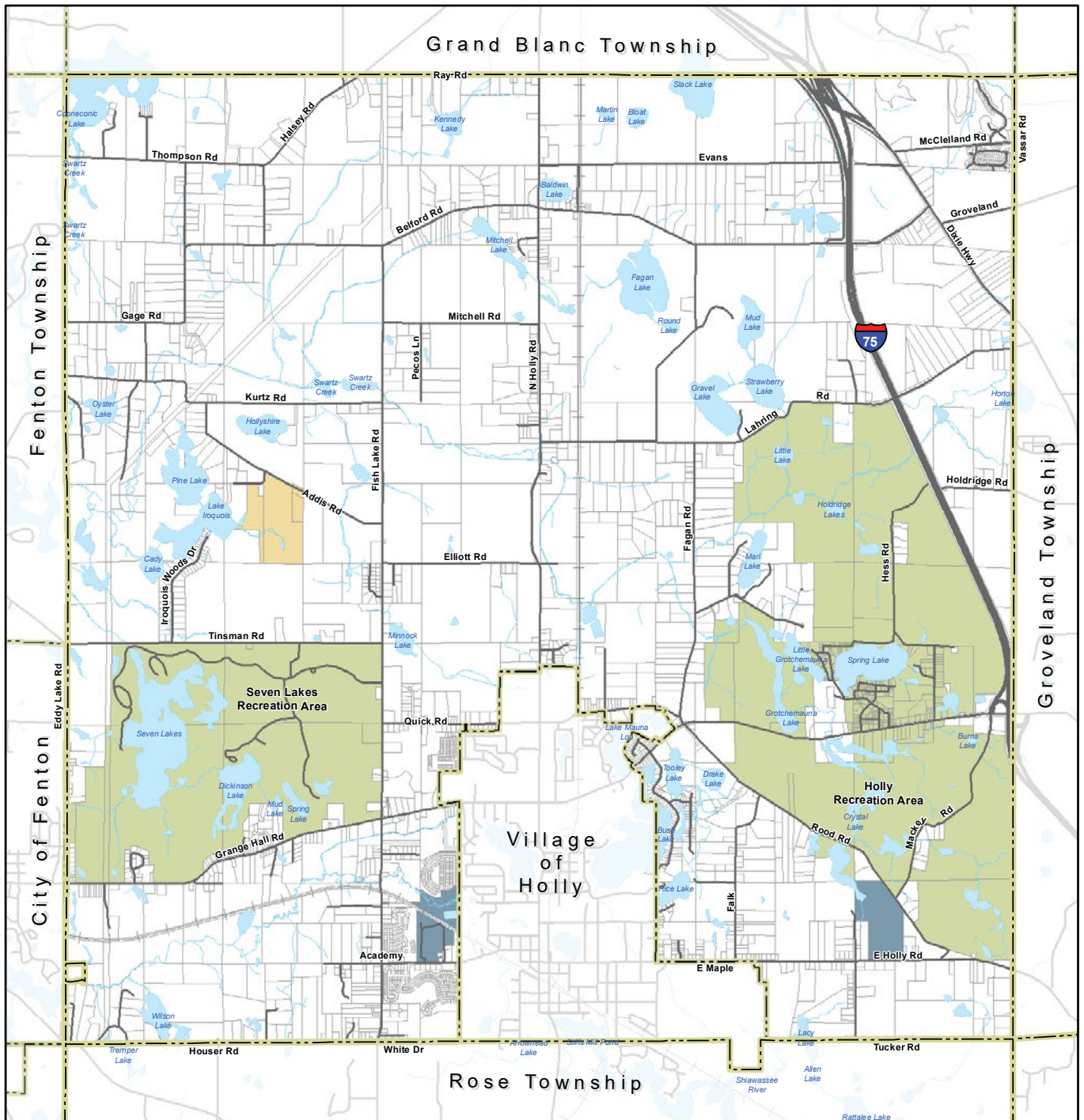
| Name                    | Recreation Area  |
|-------------------------|--|
| <b>Holly Township</b>   | <ul style="list-style-type: none"> <li>» Holly Academy (Charter)</li> <li>» Holly High School</li> </ul>   |
| <b>Village of Holly</b> | <ul style="list-style-type: none"> <li>» Benjamin H. Sherman</li> <li>» Patterson Elementary</li> <li>» Adelphian Junior Academy (Private)</li> <li>» Holly Elementary</li> <li>» Karl Richter Campus</li> </ul> |

## PRIVATE FACILITIES

- » **Mount Holly.** Mount Holly is a private downhill skiing facility located outside of Holly Township on the western side of Groveland Township. Mount Holly has 19 ski runs, seven chair lifts including Michigan's only high-speed detachable quad, five rope tows, two SunKid Wonder Carpets and a ski lodge. Instruction for beginners and intermediate skiers is available. The vertical drop is 350 feet at Mount Holly, and the longest run is 2,100 feet. It is possible to cross country ski around the Mount Holly area, however facilities are not specifically set up for this activity.
- » **Holly McGinnis Lake Campground.** Holly McGinnis Lake Campground is located just east of Holly Township on Grange Hall Road in Groveland Township. It is approximately a 22 acre campground which offers recreation activities such as mini-golf and swimming. It is situated within the Holly State Recreation Area, just east of Groveland Oaks County Park which offers further recreational activities.
- » **Renaissance Festival.** The Renaissance Festival is located along the Holly Township and Groveland Township border. The Festival is held seven weekends each year in the late summer and early fall and provides a glimpse into 16th Century life. Theatre, games, arts and crafts, and other related activities occur at the festival. Over 200,000 visitors attend each year and the visitors are attracted from all over the Midwest.



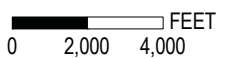
*Mount Holly Ski Resort*



July 21, 2016

# Map 6: Recreation Lands

Holly Township, Oakland County, Michigan



- Institutional Regional Recreation
- Private
- State Recreation Lands
- Water Bodies



Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012

# Roadways

According to the Road Commission for Oakland County, there are roughly 23 miles of primary road in Holly Township and 36 miles of local roads. A majority of road surfaces are gravel.

Since the Township is encouraging tourism and recreational expansion rather than commercial and industrial development, there is no direct need for an increased percentage of paved roads. The Strategic Planning Report of the Road Commission for Oakland County notes that increased maintenance on existing gravel roads is the highest priority for the Township in the future. Better grading, drainage, and winter maintenance are specific goals. A second priority is the elimination of safety hazards such as intersections with limited sight distances and dangerous curves.

## EXISTING ROAD CLASSIFICATION

Road classifications identify the volume and type of traffic that is appropriate for each segment of the roadway network. For purposes of transportation planning, a functional classification of roads has been developed. **Map 7** on the following page shows the National Functional Classification (NFC) of Holly Township roadways. NFC is a planning tool which federal, state and local transportation agencies have used since the late 1960's. The Federal Highway Administration (FHWA) developed this system of classifying all streets, roads, and highways according to their function. The descriptions can be misleading because a road that is of local importance and a primary route may be classified as minor, but this is because roadways are classified on a national scale and compared with systems across the country. The following are descriptions of the types of roadways which exist in Holly Township:

### PRINCIPAL ARTERIALS

Principal Arterials are at the top of the NFC hierarchical system. This classification generally carries long distance, through-travel movements. They also provide access to important traffic generators, such as major airports or regional shopping centers.

**Examples:** Interstate and other freeways; other state routes between large cities; important surface streets in large cities.

### MINOR ARTERIALS

Minor Arterials are similar in function to Principal Arterials, except they carry trips of shorter distances and to lesser traffic generators.

**Examples:** State routes between smaller cities; surface streets of medium importance in large cities; important surface streets in smaller cities.

### COLLECTORS:

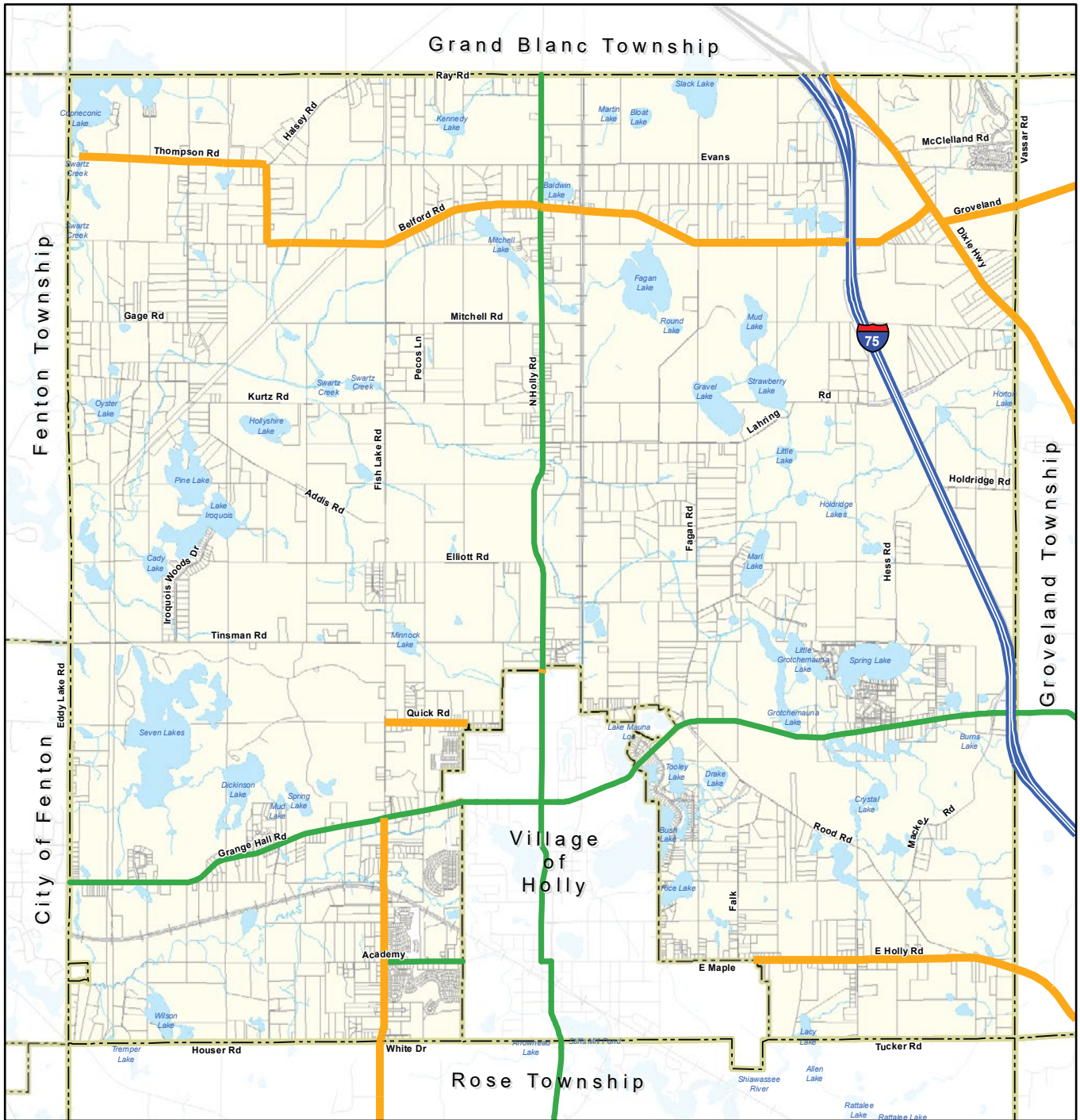
Collectors tend to provide more access to property than arterials. Collectors also funnel traffic from residential or rural areas to arterials.

**Examples:** County, farm-to-market roads; various connecting streets in large and small cities.

### LOCAL:

Local roads primarily provide access to land and serve neighborhoods and individual properties.

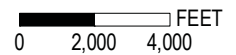
**Examples:** Residential streets; lightly traveled county roads.



October 18, 2016

## Map 7: Functional Classification

Holly Township, Oakland County, Michigan



- Interstate
- Major Collectors
- Minor Arterials
- Minor Collectors
- Surrounding Municipalities
- Water Bodies



**McKenna**  
ASSOCIATES

Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012

## ACCIDENT DATA

Accident data is available by road and intersection from the Southeast Michigan Council of Governments (SEMCOG) who compile data from the State of Michigan. The accident data available reveals that the Grange Hall Road and North Holly Road are the most problematic within the Township. When compared to the rest of Oakland County, Holly Township remains one of the communities with the lowest number of accidents. **Table 31** depicts locations where high numbers of accidents occur with frequency in Holly Township.

**Table 31. Road Accidents – 2017 to 2021**

| Road/Intersection       | 2017      | 2018       | 2019       | 2020      | 2021       | Avg.     |
|-------------------------|-----------|------------|------------|-----------|------------|----------|
| Belford Rd              | 6         | 3          | 4          | 4         | 3          | 4        |
| Riverside Dr            | –         | –          | 1          | 1         | –          | 0.4      |
| Holly Rd E              | 17        | 9          | 8          | 9         | 14         | 11.4     |
| Holly Rd N              | 16        | 20         | 23         | 26        | 36         | 24.2     |
| Fish Lake Rd            | 8         | 10         | 6          | 8         | 10         | 8.4      |
| <b>Grange Hall Rd</b>   |           |            |            |           |            |          |
| Grange Hall Rd          | 47        | 62         | 57         | 42        | 68         | 55.2     |
| Grange Hall/N I-75 Ramp | 1         | –          | 2          | 1         | –          | 0.8      |
| Grange Hall/S I-75 Ramp | –         | 3          | 3          | 2         | 1          | 1.8      |
| <b>I-75</b>             |           |            |            |           |            |          |
| N I-75/Dixie Ramp       | –         | 1          | 1          | –         | 1          | 0.6      |
| S I-75/Dixie Ramp       | –         | –          | –          | 1         | –          | 0.2      |
| S I-75/Grange Hall Ramp | 2         | 4          | 1          | 2         | 2          | 2.2      |
| <b>Grand Total</b>      | <b>97</b> | <b>112</b> | <b>106</b> | <b>96</b> | <b>135</b> | <b>-</b> |

Source: SEMCOG

## JURISDICTIONAL BODIES

Three different governmental agencies have jurisdiction over the roadways:

1. Michigan Department of Transportation (MDOT).
2. Road Commission for Oakland County (RCOC).
3. Cities and Villages.

RCOC has jurisdiction over all the roadways in Holly Township with the exception of Interstate 75, which is maintained by MDOT.

## PRIORITIZED PLANNED ROAD IMPROVEMENTS

The Road Commission has identified a future planned road improvement in the Township.

- » Paving of Falk Road and Rood Road between East Holly Road and Grange Hall Road.

Holly Township is influenced by what is occurring both outside the Township in adjacent communities, and within. The following is a brief description of the Master Plan designations at the Township borders for these various communities:

# Land Use in Adjacent Communities

## **VILLAGE OF HOLLY** *(INTERNAL TO THE TOWNSHIP)*

As an incorporated village, the Village of Holly is a separate entity that may levy and collect taxes, borrow money, pass ordinances and similar governmental functions. Residents living within the Village boundaries are Village residents, but are also residents of the Township. Village residents pay a percentage of taxes to both the Village and Township. The Village also serves as a center of commercial, cultural and governmental functions (i.e. the Township Hall is located within the Village). In regards to land use, the Village of Holly has a significant impact upon the Township. Various land use designations exist within the Village that are not found in the Township, such as a large amount of moderate density single family housing and multiple family housing (see [Map 11](#), the Village of Holly Land Use Plan). Overall, the future land use designations include a commercial core in the downtown, transitional mixed uses north to the Grange Hall/North Holly Road intersection where there is a large commercially designated area. Two industrial areas are designated, one at the south east corner of Grange Hall Road and the LSRC Railroad, and another north east of Stiffs Mill Pond in the south portion of the Village. There are pockets of "moderate density residential" which allows up to seven dwelling units per acre. These are located in five areas of the Village. The majority of the edges of the Village are designated as "low density residential", which allows for up to four to five dwelling units per acre.

## **CITY OF FENTON** *(SOUTHWEST BOUNDARY)*

The City of Fenton is located along the southern half of Holly Township's western border. The land use designation along the border, north of the railroad tracks is for Low Density Single-Family Detached Residential, which permits two units per acre. South of the railroad tracks, the area is planned for Urban Residential, which permits up to eight units per acre.

## **FENTON TOWNSHIP** *(NORTHWEST BOUNDARY)*

Fenton Township's border is on the west side of Holly Township. Most of the border area is planned for Medium Density Residential, one dwelling unit per acre. Low Density Residential permitting one unit per two acres, is planned for 0.5 mile south of Thompson Road. Manufactured Home Residential is designated from Thompson Road north to the municipal line.

## **GRAND BLANC TOWNSHIP** *(NORTH BOUNDARY)*

Grand Blanc has three different land use designations at Holly Township's northern border: Rural Estate residential on the west side which allows for five to 10 acre cluster developments, Light Industrial along the North Holly Road corridor, and Low Density Residential which allows a density of one to four units per acre.

## **GROVELAND TOWNSHIP** *(EAST BOUNDARY)*

Groveland Township has nine separate land use designations along Holly Township's eastern border. The nine land uses are listed, however, the vast majority of the boundary is future planned as agricultural, low-density residential or recreational lands, with the industrial, commercial, and extractive being represented near Grange Hall Road. The other land uses are intermittently represented elsewhere along the municipality border.

## **ROSE TOWNSHIP** *(SOUTH BOUNDARY)*

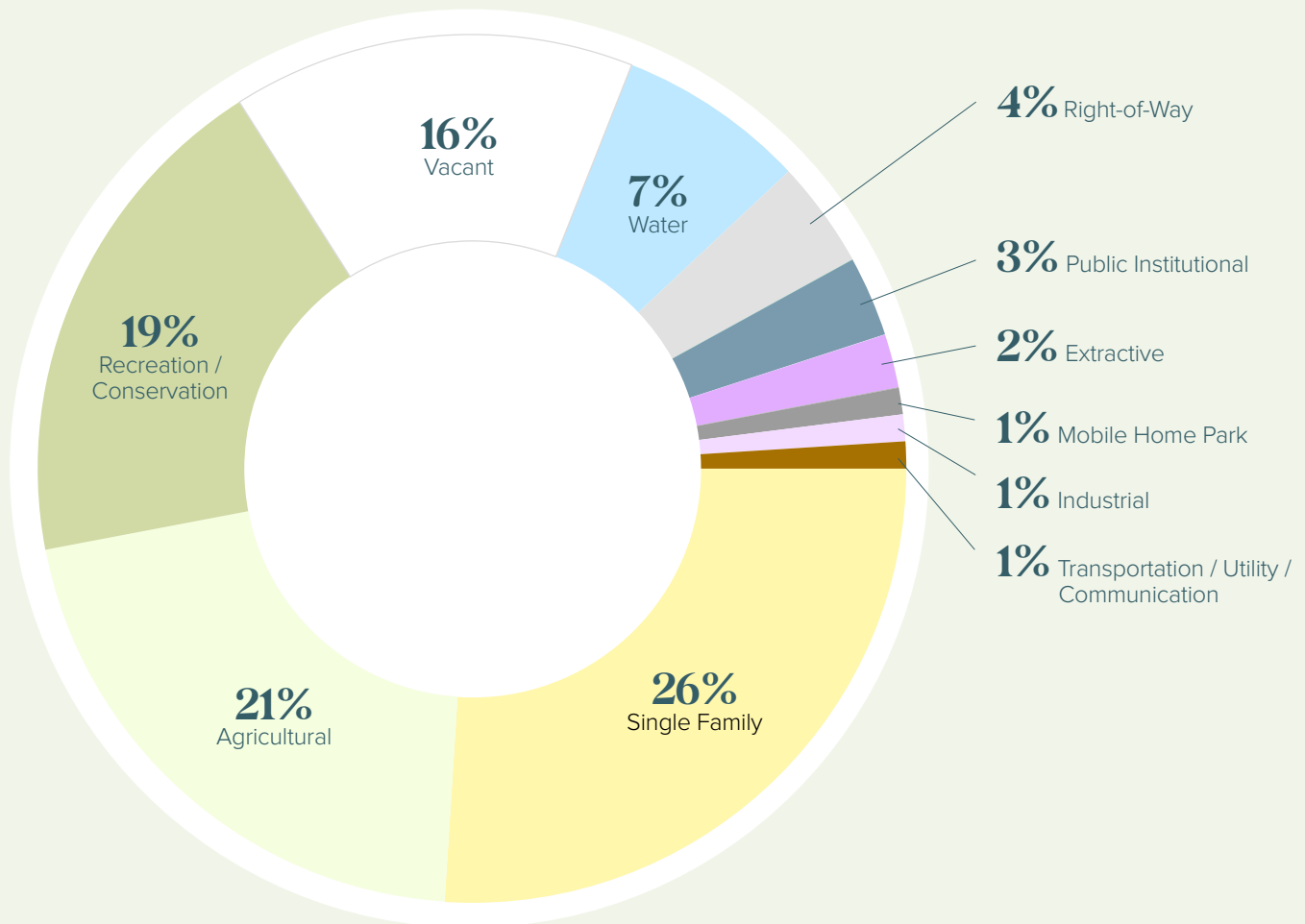
Rose Township has two land use designations at Holly Township's southern border: a Low Density Residential use which allows for 1.5 acre lot sizes is located on the west side, and a Rural Residential land use which allows ten acre lot sizes is located predominantly on the east side.



# Existing Land Use

In the last 10 years, the Township has had a consistent trend of accelerated growth. This has led to growth in single-family land uses, manufactured housing residential and industrial (the percentage of growth of single-family residential is discussed in greater detail following [Table 32](#)). Agricultural land use has remained significant, representing about 21% of Township land. Also of importance, land quantities of Recreational and Conservation categories have increased to nearly 19%.

Figure W. Existing Land Use, 2023



Source: McKenna

The following are land use categories found in Holly Township:

**Agricultural.** Parcels used as cultivated farmland, orchards, or for livestock activity, with or without related farm structures.

**Single Family.** Improved parcels having three or less units per building in predominately residential use. There are eight classifications of Single Family that are based on the parcel size (density). These classifications are shown below:

- » Less than 8,000 square feet
- » 8,000 to 13,999 square feet
- » 14,000 to 43,559 square feet
- » 1 to 2.4 acres
- » 2.5 to 4.9 acres
- » 5 to 9.9 acres
- » 10 acres and greater
- » More than one unit per parcel

**Multiple Family.** Improved parcels having four or more units per building in predominately residential use, including apartments, condominiums, row houses, senior living facilities without skilled nursing care, and terraces plus any streets, service drives, and community areas such as yards, clubhouses, and pools. Hotels, motels, campgrounds, and mobile home parks are not included in this category.

**Manufactured Housing.** Improved parcels having multiple manufactured home structures that are in the nature of a community or "manufactured housing park" plus any streets, service drives, and community areas such as yards, clubhouses, and pools. A single manufactured home structure on a parcel is not classified as a manufactured home, but "Single Family Residential."

**Commercial/Office.** Improved parcels used for wholesale, retail, office, entertainment, or services, including those uses predominately at street level on multi-functional structures, plus related contiguous accessory uses such as parking areas and service drives.

**Industrial.** Improved parcels used predominately for manufacturing or on which materials or articles are processed or semi-processed, but not retailed, including related storage areas, and warehousing. Commercial waste disposal sites, land fill operations, and junkyards are also shown as industrial.

**Public/Institutional.** Improved parcels and facilities that are held in the public interest and are usually exempt from real property taxation plus any service drives or roads inside the actual parcel. Examples of this category are churches, educational facilities, governmental offices, hospitals, assisted living and skilled nursing care facilities, municipal parking facilities, day care centers, and cemeteries.

**Recreation/Conservation.** Parcels for which the primary purpose is for outdoor recreation or natural area conservation. This may include public or private-owned parks, outdoor sporting clubs, golf courses, marinas, campgrounds, or areas for which the primary purpose is preservation and conservation of undeveloped natural areas.

**Transportation, Utility & Communication.** Improved parcels containing above or below-ground utility or communication facilities, including electric and gas generating plants, transmission lines, booster and transformer stations, related storage yards, county drains, detention/retention basins etc. In addition, airports, railroad yards, buildings related to utility companies, such as Detroit Edison, Consumer's Energy, and telecommunications companies, plus waste water treatment plants and water works, are also included in this category.

**Extractive.** Parcels that are primarily used for surface mining and extraction of materials such as gravel, stone, minerals, ore, soil, or peat.

**Vacant.** All parcels not included in one of the above definitions. These are unimproved areas that are not in a committed use and not in a use that is accessory to an adjacent parcel with a use described above.

**Water.** Areas that are ordinarily covered by water as depicted in the Oakland County Water body feature class.

**Road Right-Of-Way.** Areas that are predominately used for vehicular transportation. These areas may also contain pedestrian walkway, utility easements, railroad crossings, and/or on-street parking areas.

**Railroad Right-Of-Way.** Areas improved with a rail system and predominately used for train traffic.

Table 32 quantifies the land use changes between 1990 and 2023 while Figure X displays changes from 2015 to 2023.

Table 32. Existing Land Use in Acres – Holly Township, 2023

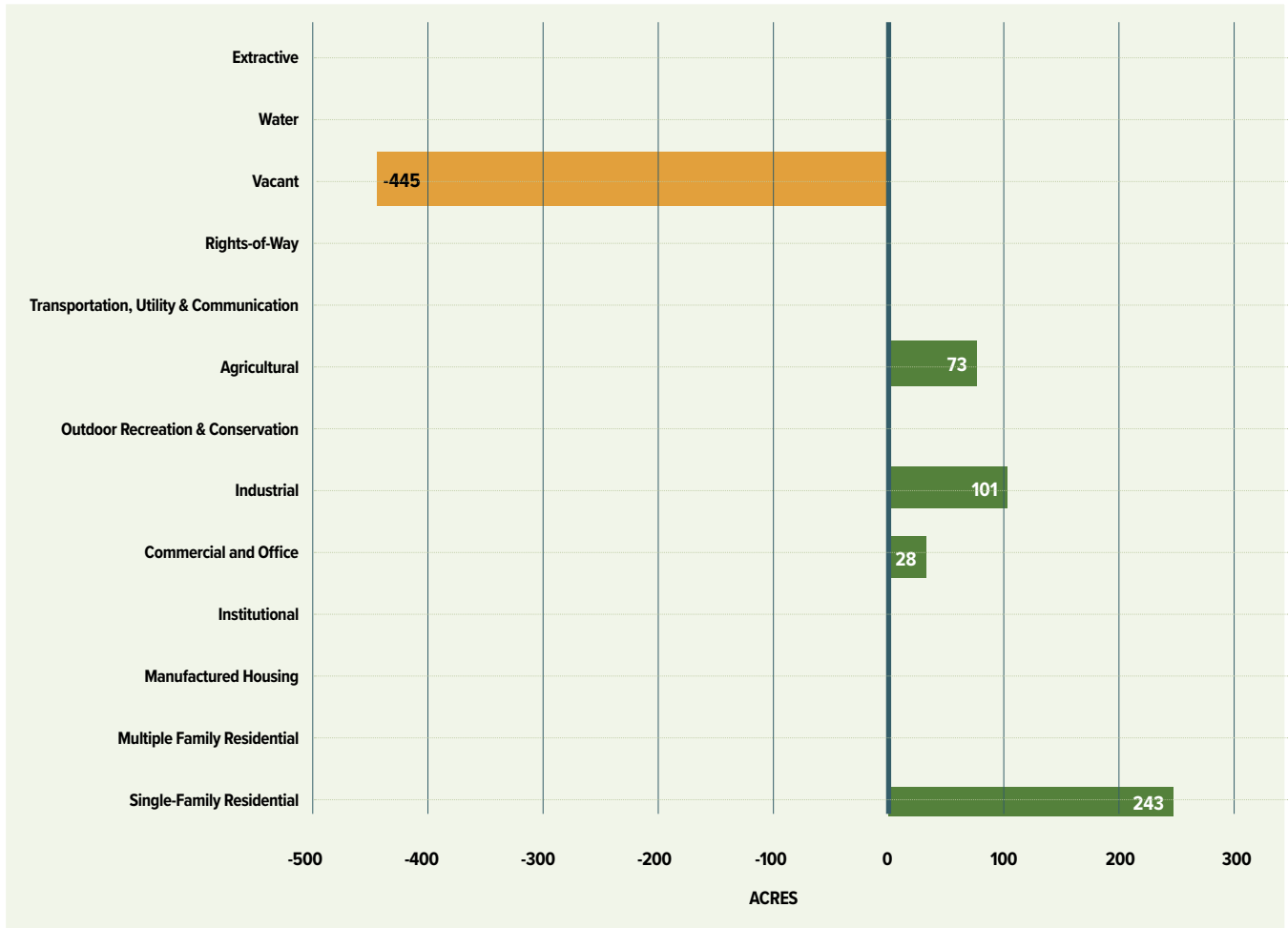
| Land Use Classification                 | 1990          | 1992          | 2001          | 2007          | 2015          | 2023         | 2015-2023 Change | 2023 % of Total |
|---|---------------|---------------|---------------|---------------|---------------|--------------|------------------|-----------------|
| Single Family Residential               | 1,817         | 1,953         | 5,055         | 5,305         | 5,235         | 5478         | 243.00           | 25.61%          |
| Multiple Family Residential             | 0             | 0             | 0             | 39            | 39            | 39           | 0.00             | 0.18%           |
| Manufactured Housing                    | 0             | 0             | 193           | 135           | 135           | 135          | 0.00             | 0.63%           |
| Institutional                           | 91            | 91            | 121           | 607           | 627           | 627          | 0.00             | 2.94%           |
| Commercial & Office                     | 61            | 59            | 60            | 56            | 51            | 79           | 28.00            | 0.37%           |
| Industrial                              | 289           | 289           | 350           | 37            | 37            | 138          | 101.00           | 0.65%           |
| Outdoor Recreation & Conservation       | 3,363         | 3,378         | 3,545         | 3,835         | 3,966         | 3966         | 0.00             | 18.59%          |
| Agricultural                            | 5,011         | 4,946         | 4,900         | 3,823         | 4,482         | 4555         | 73.00            | 21.35%          |
| Transportation, Utility & Communication | 153           | 153           | 169           | 165           | 165           | 165          | 0.00             | 0.77%           |
| Rights-of-Way                           | 1,088         | 1,088         | 930           | 1,010         | 938           | 938          | 0.00             | 4.76%           |
| Vacant                                  | 8,336         | 8,252         | 4,623         | 4,551         | 3,756         | 3311         | -445.00          | 15.52%          |
| Water                                   | 1,297         | 1,297         | 1,419         | 1,465         | 1,466         | 1466         | 0.00             | 6.87%           |
| Extractive                              | N/A           | N/A           | N/A           | 331           | 379           | 379          | 0.00             | 1.78%           |
| <b>TOTAL</b>                            | <b>21,506</b> | <b>21,506</b> | <b>21,365</b> | <b>21,357</b> | <b>21,276</b> | <b>21276</b> | <b>0.00</b>      | <b>100.00%</b>  |

Sources: McKenna

As the table indicates, the largest changes between the 1990 acreage and 2023 acreage occurred within the Single-Family and Vacant categories. In all, 11,411 acres have been converted to a different use between 1990 and 2023. Vacant land use has decreased the most with a total of 5,025 acres converted to almost exclusively single-family residential uses.

Residential growth does account for a portion of this growth, though a very small amount. The biggest reason for this increase was due to an Oakland County change in estimating methods for land figures. Two policies are the cause for this variation; in the first, the dominant use of a mixed use site is totaled as the entire site: in the second, the entire parcel will be shown as a particular use even if only part of the parcel is in use. These policies result in the substantial variation indicated in the single-family and vacant categories of Table 32 and Figure X, in which the land use map indicates a property as single-family even if the majority of the site is left as vacant.

Figure X. Changes in Acreage – Holly Township, 2015-2023



Source: McKenna

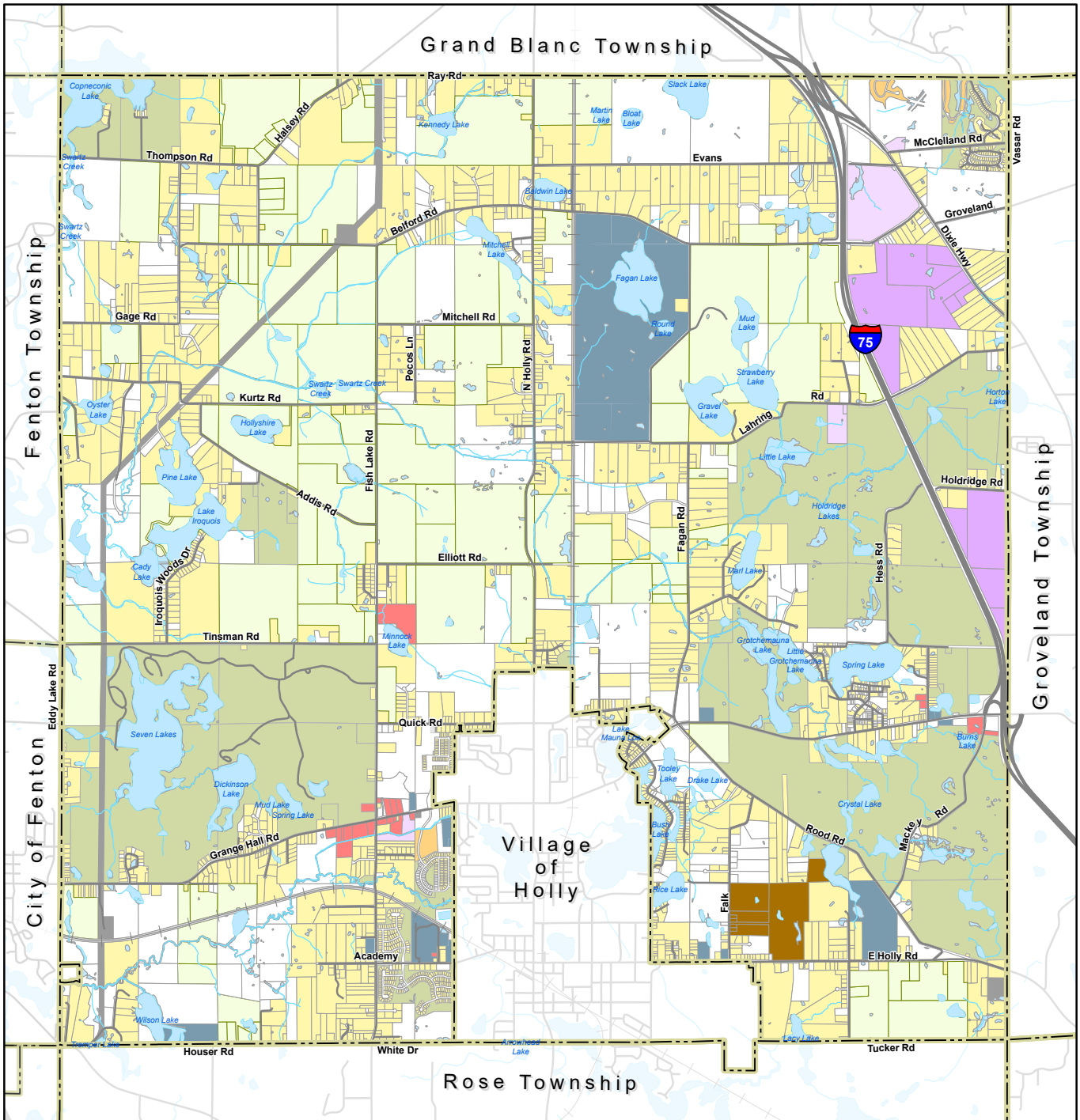
## LAND USE PATTERNS

The "Existing Land Use" on page 64 Map can be found on page 64.

- » **Single-Family Residential.** Most single family housing is concentrated in the Village of Holly, however, expansion into the Township has been increasingly scattered along major road frontages. The development of Riverside has resulted in significant increases in the amount of Single Family Residential land use west of the Village of Holly. Additionally, small groupings have developed around some lakes, with one large subdivision surrounding Spring Lake in the east and just east of the Village of Holly around Bush and Rice Lakes. Single family is the largest single category of land use in the Township, although the majority of the development is expected to remain relatively low density, with the exception of Riverside.
- » **Multiple Family.** This type of residential development has been confined to the north end of the Village of Holly. A phase of the Riverside Development was constructed as an attached condominium. This is the first development of Multiple Family in the Township.
- » **Manufactured Housing Park.** There is one area of manufactured housing within the Township at this time, a manufactured housing park on the east side of Falk Road between Rood Road and East Holly Road. The park had 152 units in 2000, though a number of phases of construction remain for the park.
- » **Public/Institutional.** Institutional uses are scattered throughout the Village of Holly but have not grown extensively into the Township. Expansion to the east of the village is improbable due to lakes and wetlands. However the development the High School in the last decade did occur in this area. Additionally, Holly Heritage Farm is located on North Holly Road that is currently undeveloped with the exception of a historic barn and other associated structures. Most notable is the Great Lakes National Cemetery located off of Belford Road, east of North Holly Road. The cemetery was established in 2005 and is 544 acres in size. The cemetery is the 2nd National Cemetery in Michigan.
- » **Commercial/Office.** Commercial/Office development is expanding westward also. Holly Township is experiencing growth pressure from Fenton and Flint in the west and northwest, causing development to be drawn in that direction.
- » **Industrial/Extraction.** While industrial land is scattered along rail corridors in the center of the Village of Holly, industrial development in the Township is focused around I-75 in the northeast. Access and exposure to a state highway makes this an economical location. The highway also creates an insurmountable border between high intensity uses and parklands on the other side. A number of these industrial areas are extractive mining operations accessed from Dixie Highway or Belford Road. There are also additional areas of industrial use near the Grange Hall Road/Fish Lake Road intersection.
- » **Recreation and Conservation.** Large amount of land is occupied by this category. In the southwest section is Seven Lakes State Park. Running along the eastern border and northward along I-75 is the Holly State Recreation area. These areas are essentially located on both sides of Holly Township, constricting east west expansion in the northern half of the Village. However, the Village of Holly is built on a major north-south axis, likely to influence growth in that direction.
- » **Agricultural, Vacant and Open Space.** Agricultural, vacant and open space account for almost 40% of total land in Holly Township. In the past, Holly Township has ranked in the top five communities in Oakland County holding land under the Farmland and Open Space Preservation Act, which serves to preserve productive farmland. As of 2003, 293 acres are protected and receive the tax benefits of the program. However, this is a sharp decline from 1991, when 1,336 acres were designated. The decline in amount of protected land is a concern, as it means that more land in the Township could be developed at any time.

In sum, development in Holly Township has been limited by the roadway access, soils conditions and presence of wetlands, the large amounts of public recreation lands, and the general desire of the community to remain rural in character. However, given the location between the Detroit and Flint metropolitan areas, increasing development pressure in the future will continue to be likely.

Commercial/Office land use in the Township is concentrated on Grange Hall Road, a major thoroughfare connecting I-75 to Fenton and US-23, to the west of the Village. There is very little Commercial/Office elsewhere in the Township with the exception of the Dixie Highway/I-75 Interchange. Small districts are also located at the I-75/Grange Hall Road interchange.

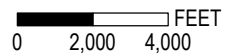


January 8, 2024

# Map 8: Existing Land Use

Holly Township, Oakland County, Michigan

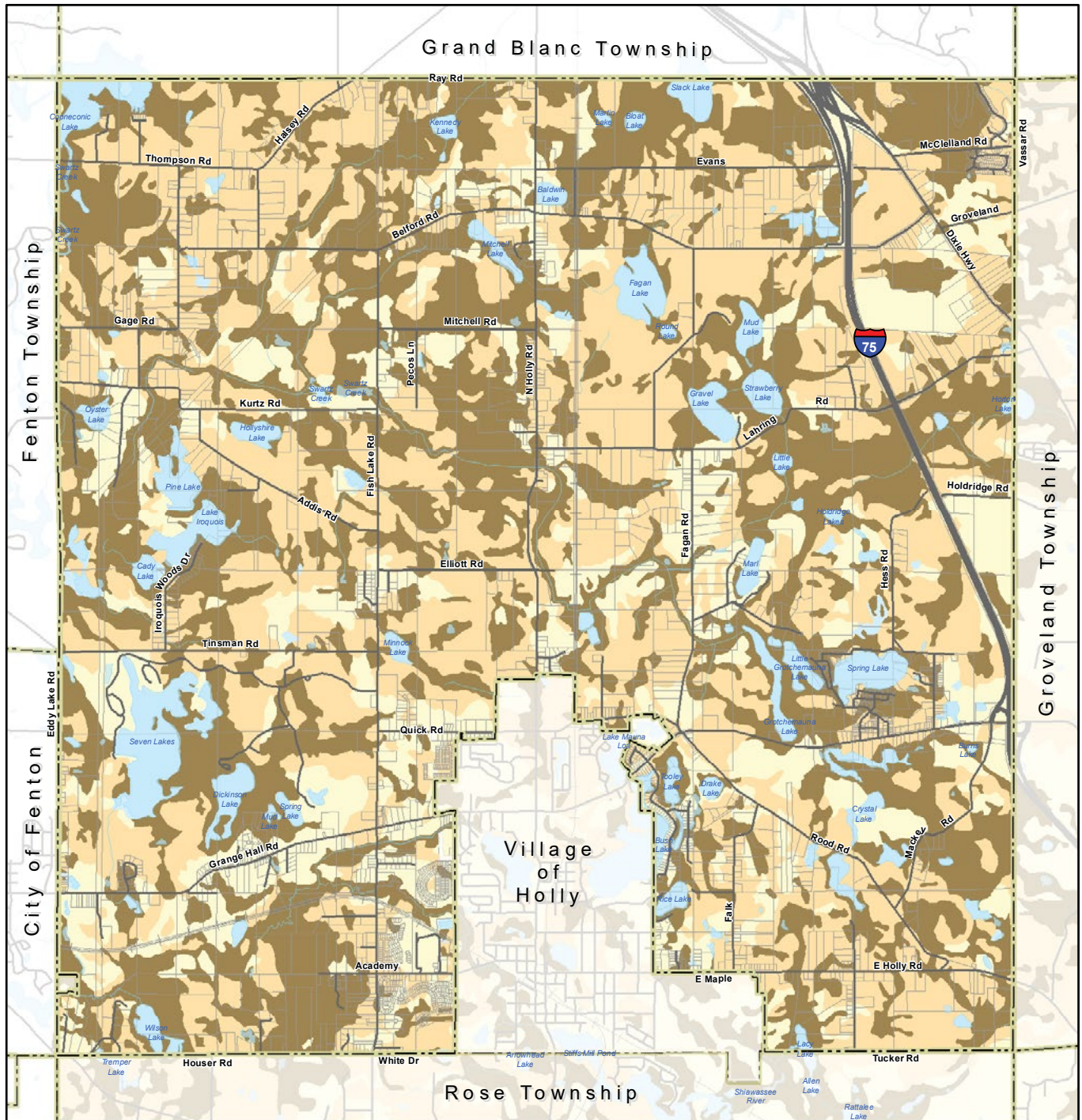
- |   |   |  |
|---|---|--|
| <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> Single Family Residential | <span style="display:inline-block; width:15px; height:15px; background-color:lightcoral; border:1px solid black;"></span> Commercial/Office       | <span style="display:inline-block; width:15px; height:15px; background-color:gray; border:1px solid black;"></span> Transportation/Utility/Communication |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> Agricultural          | <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> Recreation/Conservation | <span style="display:inline-block; width:15px; height:15px; background-color:white; border:1px solid black;"></span> Vacant                              |
| <span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> Multiple Family           | <span style="display:inline-block; width:15px; height:15px; background-color:lightpurple; border:1px solid black;"></span> Industrial             | <span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> Water                           |
| <span style="display:inline-block; width:15px; height:15px; background-color:darkorange; border:1px solid black;"></span> Mobile Home Park      | <span style="display:inline-block; width:15px; height:15px; background-color:purple; border:1px solid black;"></span> Extractive                  |  |
| <span style="display:inline-block; width:15px; height:15px; background-color:darkblue; border:1px solid black;"></span> Public/Institutional    | <span style="display:inline-block; width:15px; height:15px; background-color:lightgray; border:1px solid black;"></span> Railroad Right-of-Way    |  |



Base Map Source:Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012

## SOIL SUITABILITY

Much of the soil in Holly Township exhibit development limitations due to septic capability. This, in addition to the lack of broadly available water and sewer connections, directly impact where and how new development can occur. Determination of land use designations and densities should consider this factor. **Map 9** on the following page depicts soil suitability for septic systems in the Township. The areas with limitations generally follow the existing wetlands systems and associated areas.

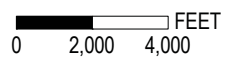


July 21, 2016

# Map 9: Soil Suitability

Holly Township, Oakland County, Michigan

- Areas Unsuitable for Septic Uses
- Areas Marginally Suitable for Septic Uses
- Areas Suitable for Septic Uses



**McKENNA**  
ASSOCIATES

Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012



03.

# Goals and Policies

# General Goals and Policies

The following pages detail the goals and policies of Holly Township. Goals are statements that define the direction and character of future development that the Township wishes to strive towards. Policies set forth the framework for action and form the basis upon which more detailed development decisions are made. Adoption of policies does not commit the Township to any particular recommendation but does commit it to take actions that are consistent with the policy guidelines.

The following statements reflect the 10 primary goals of the Township, as stated in the most general terms:

## Goal 1: Community Character:

Develop and promote Holly Township’s diverse, desirable, and unique rural character as a place to live, work, and play within its abundance of recreational opportunities.

## Goal 2: Environmental:

Maintain the abundance and quality of natural resources and vital ecosystems within Holly Township.

## Goal 3: Land Use:

Make decisions and plan with an understanding of the Township's economic and environmental positions in the region, placing uses in appropriate areas where services and infrastructure are available and how uses contribute to the community's image and a vibrant mix of housing, business and recreational opportunities.

## Goal 4: Residential:

Allow for a range of housing choices that are consistent with, and enhance, the existing residential community character and future community vision including low density rural residential on acreage, and mixed-residential neighborhoods that maintain the small-town rural character of surrounding historic single family residential neighborhoods in the Village.

### **Goal 5: Shopping and Services:**

Encourage high-quality development and redevelopment of commercial properties intended for providing goods and services that meet the needs of current and future Township residents.

### **Goal 6: Economic Development:**

Promote economic activities which are compatible with the existing character and future vision of Holly Township, with respect, consideration, and in cooperation with surrounding communities.

### **Goal 7: Infrastructure:**

Provide appropriate infrastructure that preserves and protects Holly Township's natural features while addressing the community's needs for efficient and safe multimodal access, sewer, and water systems.

### **Goal 8: Partnerships:**

Increase and continue coordination with government entities, community groups, businesses, organizations, and all others who wish to contribute to the success of Holly Township.

### **Goal 9: Recreation and Open Space:**

Enhance the quality of life for current and future Holly Township residents and make the community more appealing by providing a variety of recreational facilities to accommodate residents of all ages, interests, and physical abilities.

### **Goal 10: Sustainability:**

Support the local economy while protecting natural resources as appropriate; safeguard existing assets and investments from potential future environmental hazards; and expand on efforts to maintain Holly's reputation as a charming, vibrant place where people and businesses can thrive for decades to come.

## Specific Goal & Policy Guidelines

### Goal 1: Community Character

Develop and promote Holly Township's diverse, desirable, and unique rural character as a place to live, work, and play within its abundance of recreational opportunities.

#### ZONING & OTHER ORDINANCE STRATEGIES

- » Develop and enforce zoning and design guidelines that reflect Holly Township's unique historical small town rural character.
- » Develop ordinances that require parking to be located and screened to enhance the pedestrian environment, and use trees and other design cues to indicate pedestrian rights of way.
- » Preserve large residential lots and single family housing away from the Village center and designated receiving zones.
- » Increase commercial and pedestrian activity in the Village center and receiving zone area.
- » Incorporate rural design elements into the zoning ordinance including landscaping, fencing, etc.

#### PARTNERSHIP STRATEGIES

- » Assemble a Citizen's Event and Activities Committee that is in charge of assessing the community's recreational and activity interests, and create partnerships with existing events to engage in co-programming that promotes community assets, and develop the social/community infrastructure within Holly Township.
- » Promote the proximity to regional attractions by developing wayfinding signage and complimentary programming that supports the development of a strong knit community fabric.
- » Establish a live, work, play program.
- » Encourage property and business owners to proactively improve the commercial vitality of the township and village center through various open air market events and creating distinctive retail center design attributes.

## Goal 2: Environmental

We will defend and maintain the abundance and quality of natural resources and vital ecosystems within Holly Township.

### ZONING & OTHER ORDINANCE STRATEGIES

- » Maintain an updated inventory of natural areas as identified through the Michigan Natural Features Inventory and the supplemental study conducted for the Township by the Nature Conservancy of Michigan.
- » Develop and enforce landscaping requirements to separate and buffer incompatible uses and improve views from the roadway.
- » Continually evaluate Township Zoning Ordinance provisions designed to preserve and protect woodlands and wetlands as features of new development.
- » Review and consider zoning ordinance provisions which would encourage a range of open space development designs.
- » Carefully apply zoning ordinance development standards so as to avoid requirements which result in unnecessary loss of open space.
- » Develop and apply natural feature setbacks to preserve woodlands, wetlands, slopes, floodplain, and watersheds in their natural state as elements of project design.
- » Restrict clear-cutting of trees prior to approval of the development.
- » Encourage transfer of development rights and other conservation initiatives.
- » Promote the usage of natural drainage systems near roads by supporting the inclusion of permeable surfaces into drainage designs.
- » Invest in the rural economy to preserve and promote working lands.
- » Protect, preserve, and restore natural vegetation and topographic features along stream corridors, waterways, and wetlands.

### PARTNERSHIP STRATEGIES

- » Support the use of land trusts or conservancies to accept donations of land, purchase sensitive properties, and manage and protect designated open spaces.
- » Assist in the development of a local land conservancy within Holly Township and institute partnerships with established conservancies in Oakland and Genesee Counties.
- » Acquire environmentally sensitive sites identified as important elements of the Township's long-range recreation plan.
- » Recruit local environmental champions to sponsor environmental protection initiatives.

## Goal 3: Land Use

Make decisions and plan with an understanding of the Township's economic and environmental positions in the region, placing uses in appropriate areas where services and infrastructure are available and how uses contribute to the community's image and a vibrant mix of housing, business and recreational opportunities.

### ZONING & OTHER ORDINANCE STRATEGIES

- » Establish purchase and transfer of development rights ordinances to encourage appropriate land use preservation and development.
- » Zone land in sending zones at very low densities with building incentives for transferring development rights to receiving zones.
- » Allow some incentives for open space or cluster developments in the sending areas.
- » Zone lands that abut the village and receiving zones to be developed in ways that allow for compact and creative mixed-use development that is compatible with the Village and receiving zone's uses.
- » Establish an intensity of use guideline that evaluates site appropriateness given existing and natural conditions.
- » Provide incentives for ground-floor retail and upper level residential uses in target areas, and encourage existing single use developments to be redeveloped into mixed-use sites.
- » Protect environmentally sensitive lands by guiding development towards appropriate sites and buildable portions of existing parcels.

### PARTNERSHIP STRATEGIES

- » Ensure that Township officials and councils are trained in zoning, land use planning, and historic preservation.
- » Develop cooperative relationships with adjacent communities so that Holly Township will be a partner with adjacent municipalities' planning and development strategies, and effectively leverage existing local and regional assets in order to attract suitable land use developments.
- » Establish priority funding areas to direct development toward areas with infrastructure.
- » Participate in planning and development activities with adjacent and regional planning bodies.

## Goal 4: Residential

Allow for a range of housing choices that are consistent with, and enhance, the existing residential community character and future community vision including low density rural residential on acreage, and mixed-residential neighborhoods that maintain the small-town rural character of surrounding historic single family residential neighborhoods in the Village.

### ZONING & OTHER ORDINANCE STRATEGIES:

- » Plan for the Township's higher residential densities to occur adjacent to the Village or within the receiving zones.
- » Design residential development standards to be directly related to the land suitability. Limit high-intensity development in the parts of the Township that have high quality natural features.
- » Develop and/or enhance zoning standards which encourage innovative development patterns that result in open space buffers or other appropriate transitions between residential and non-residential uses.
- » Investigate zoning ordinance incentives or programs which encourage preservation of open space.
- » Enhance the sense of community and improve pedestrian transportation options by connecting residential developments to schools, parks, and cultural facilities.
- » Develop pedestrian connections between residential neighborhoods.
- » Work with developers to provide recreation land and open space within developments as one way to expand the system of local park facilities.
- » Encourage the development of alternative, denser housing formats, such as apartments, townhomes, senior housing facilities, and mixed-use housing in areas where infrastructure is available or would be provided by the development.
- » Require that there is adequate water and sewer service for higher density developments and discourage developments which require such services in the rural/natural areas of the township.
- » Develop design guidelines that reflect Holly Township's unique rural character.
- » Support and incentivize large lots in the sending zone areas to preserve the low-density rural character and natural range of features within these areas. Encourage, develop, and promote local or state programs which support the long-term feasibility of farming and conservation in these areas.
- » Encourage a wide range of housing options to meet the needs of all age groups, allowing for people to remain in the Township through all stages of life.

## Goal 5: Shopping and Services

Encourage high-quality development and redevelopment of commercial properties intended for providing goods and services that meet the needs of current and future Township residents.

### ZONING & OTHER ORDINANCE STRATEGIES:

- » Establish a mixed-use central commercial core or traditional neighborhood center that would include a variety of medium- to high-density residential, retail, cultural, and entertainment uses, in addition to perhaps new municipal services and facilities, that features multimodal access, and serves as Holly Township's Traditional Neighborhood Development area.
- » Promote the concentration of new retail development in sustainable community (Dixie Highway) and traditional neighborhood centers (Fish Lake Road).
- » Continually implement access management techniques, such as shared drives, service roads, internal connections, and proper driveway design, to maintain roadway capacity and safety.
- » Encourage parking in the rear and to the side of stores in order to create more pedestrian-friendly and aesthetically appealing retail developments.
- » Parking areas should be designed in order to allow for efficient access from the roadway, while also maintaining a sense of safety and security for the users.
- » Review existing code enforcement efforts to insure positive response and timely compliance with violation notices.
- » Encourage business establishments that provide goods and services residents need on a daily basis to locate in reasonable proximity to residential areas.
- » Prevent premature commercial development in outlying areas ahead of demand for retail services and ahead of infrastructure to support the development.
- » Require all major commercial developments to locate where sewer and/or water service is existing or planned.

### PARTNERSHIP STRATEGIES

- » Work with the MDOT, the Road Commission of Oakland County and developers to provide shared driveways whenever possible, and locate new driveways in appropriate locations for safety and access.



## Goal 6: Economic Development

Promote economic activities which are compatible with the existing character and future vision of Holly Township, with respect, consideration, and in cooperation with surrounding communities.

### ZONING & OTHER ORDINANCE STRATEGIES

- » Allow compatible high tech, research & development uses to locate within the Dixie Highway service area.
- » Encourage high tech, research, and industrial development within planned industrial parks and discourage scattered site development that negatively impacts adjacent land uses, especially residential areas.
- » Promote establishment of high tech, research, and light industrial operations at locations where sewer and/or water service is existing or planned, and where there is appropriate road access for employees and delivery vehicles.
- » Require outdoor storage to be properly screened from public view.
- » Address the relationship between adjacent uses by developing site plan review standards that encourage service drives, combined parking and access drives, and signage which is sensitive to the primarily residential character of Holly Township.
- » Review and enhance the zoning ordinance performance standards to ensure that the health and safety of Township residents is maintained while encouraging appropriate new manufacturing development.
- » Ensure that all manufacturers protect the Township's ground and surface waters by installing primary and secondary containment vessels and leak detection equipment for all hazardous materials and that Wellhead Protection procedures are followed for new manufacturing establishments within the designated wellhead protection areas.
- » Locate manufacturing development where it can be screened to blend in with the natural features of the Township in order to maintain rural character.

### PARTNERSHIP STRATEGIES

- » Plan for needed roadway improvements to support and enhance new light manufacturing uses.
- » Encourage a partnership between the Township Genesee, and Oakland Counties to raise awareness of development opportunities and the attractive qualities of the Township.
- » Coordinate with Grand Blanc Township with respect to the Technology Village.
- » Identify and support existing industries within the Township and address their utility and infrastructure needs.
- » Evaluate existing assets (cultural, environmental, transportation, and economic) and emerging local and regional economic trends. Develop marketing brochure and update website to reflect asset and emerging sector findings, and how they related to Holly Township's sending and receiving zone plan to attract appropriate types of development that the Township desires.
- » Develop cooperative partnerships with community and county level planning so that Holly Township can be a partner in aligning efforts for coordinated business attraction that leverages local and regional strengths.
- » Promote identified assets to attract and retain businesses and high-talent workforce, and ensure that there is compatibility of industries with the existing economy and community character.
- » Participate and encourage regional planning considerations within and around Holly Township, develop relationships at multiple levels of government in the area.
- » Encourage the branding efforts of the live, work, play program and develop partnerships with major event attractions and businesses in order to organize recruiting events.
- » Encourage a buy local market program, and support those who pursue the development of natural environment and parkland.

## Goal 7: Infrastructure

Provide appropriate infrastructure that preserves and protects Holly Township’s natural features while addressing the community’s needs for efficient and safe multimodal access, sewer, and water systems.

### ZONING & OTHER ORDINANCE STRATEGIES

- » Ensure that developers of new subdivisions within designated service areas provide sewer and water utilities without added expense to the Township.
- » Target sensitive lake areas as the first priority properties to receive sanitary sewer services to reduce reliance on septic and protect ground water quality.
- » Direct higher-density residential development to receiving areas served by public utilities.
- » Promote access controls and control lanes to improve roadway capacity, circulation, and safety while reducing the need for unnecessary roadway expansions and increasing safety while minimizing costs.
- » Additional residential development should be timed to coincide with adequate roadway, sewer, and water systems needed to support the development.
- » Establish sidewalks and pathways that support multimodal access throughout the Township.
- » Develop a Complete Streets program that addresses circulation concerns for all users of roadways and sidewalks throughout the Township.

### PARTNERSHIP STRATEGIES

- » Expand the water system to provide fire hydrants in new neighborhoods and higher density developments where appropriate.
- » Review roadway conditions and traffic volumes in order to target areas which should receive priority for road improvements.
- » Continue to work with the Road Commission of Oakland County and MDOT to get traffic signals installed in appropriate locations to improve safety while maintaining traffic flow.
- » Work with the Township Board to adopt a complete streets policy which draws from the principles within the Master Plan.
- » Pave existing gravel roadways, where appropriate, in order to improve roadway capacity and traffic flow, while reducing adverse impacts such as dust and noise.
- » Consider developing an additional north-south connector to increase accessibility and improve roadway circulation for the Township’s commuters.

## Goal 8: Partnerships

Increase and continue coordination with government entities, community groups, businesses, organizations, and all others who wish to contribute to the success of Holly Township.

### PARTNERSHIP STRATEGIES

- » Study surrounding area plans and emerging trends, and evaluate how Holly Township is connected and can support those efforts.
- » Develop cooperative relationship with various public and private entities, and partner with them to achieve coordinated planning efforts.
- » Develop a solid growth boundary policy to protect township investments and preserve township tax base.
- » Attend regional conferences, events, and outings in order to develop relationship and gain Township exposure.
- » Actively engage in SEMCOG, Oakland County, and MTA events.
- » Seek service sharing agreements whenever fiscally prudent.
- » Support cooperative planning efforts and open door policies for those groups who'd like to engage in Holly Township's future.
- » Incorporate developers and other stake holders within the community into the visioning process.

## Goal 9: Recreation and Open Space

Enhance the quality of life for current and future Holly Township residents and make the community more appealing by providing a variety of recreational facilities to accommodate residents of all ages, interests, and physical abilities.

### ZONING STRATEGIES

- » Consider adopting zoning ordinance standards which will permit and encourage mechanisms to preserve and protect open space while adding to the Township's park land inventory.

### PARTNERSHIP STRATEGIES:

- » Acquire land to develop small, neighborhood parks. These parks should include picnic areas, playground, and other passive uses.
- » Develop a centrally-located community recreation center, perhaps in conjunction with the traditional neighborhood development area, in order to accommodate Township events and build a sense of community among the residents.
- » Consider natural features, such as wetlands, floodplains, woodlands, lakes, streams, and steep slopes, which can be appropriately incorporated into recreational opportunities.
- » Develop a system of pathways in the Township that can connect residential neighborhoods to each other and with shopping areas.

## Goal 10: Sustainability

Support the local economy while protecting natural resources as appropriate; safeguard existing assets and investments from potential future environmental hazards; and expand on efforts to maintain Holly's reputation as a charming, vibrant place where people and businesses can thrive for decades to come.

### STRATEGIES

- » Consider sustainability efforts advised by ICLEI Local Governments for Sustainability (formerly International Council for Local Environmental Initiatives) to educate the public about the importance of sustainability, understand what the Township's role is, and determine future goals for environmental and economic sustainability.
- » Achieve reductions in greenhouse gas emissions and air pollutants in both municipal operations and the community at large.
- » Continue to promote preservation of natural resources outlined in the other goals and policies in this plan to protect Holly's invaluable waterways, wetlands, woodlands, and other natural resources.

04.

# Land Use Plan

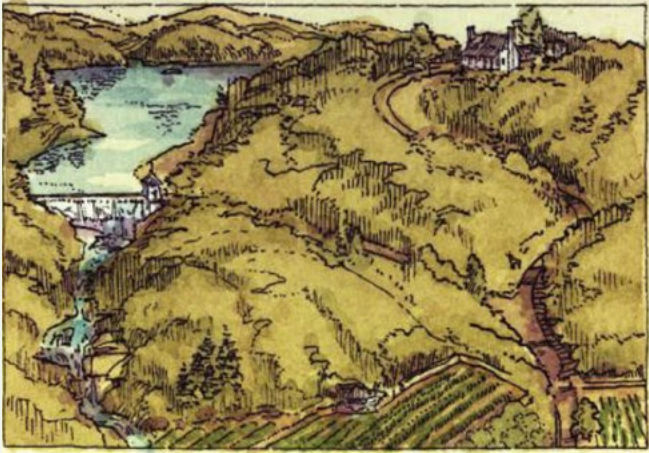
# Future Land Use Plan

The Future Land Use Map is the culmination of the comprehensive planning process, creating a land use guide and visual representation of the direction and future of Holly Township. The map is developed from the analyses, goals, policies and strategies set forth in their respective sections.

The plan addresses the issues of natural and recreational resource preservation, access management issues, community and neighborhood development, the targeting of strategic economic centers, Holly Township's geographical location, and setting forth a vision of sustainable and smart development so that current and future generations of Holly Township residents may experience a high quality of life. Each district encourages environmentally conscious and innovative development that preserves our natural resources and the respectful use of land. This open space preservation focus can be seen in the tables within each district description, detailing the density bonuses achieved when various forms of land preservation development strategies are undertaken, and are intended to be consistent with the open space preservation application design requirements.

To provide sufficient buffer and smooth transition between densities, housing density should be gradated outward, so the interiors of large sites are where the highest density is situated, with decreases in density toward the exterior. Substantial plant buffers should also be included along property boundaries.

RESIDENTIAL LAND USE



RURAL ESTATE

Rural Estate is a designation for low density single-family neighborhoods that are rural in nature. This district is geared towards large lot sizes that support agricultural uses and buildings, farmhouses, estate homes, and low intensity residential uses.

| Rural Estate Densities |              |
|------------------------|--------------|
| Development Type       | du / acre    |
| Standard Development   | 1:10 to 1:40 |
| Cluster Development    | 1:5          |
| Transfer Development   | 1:2.5        |



### LOW DENSITY RESIDENTIAL

Low Density Residential is a designation for low-density single-family neighborhoods that maintain large areas of preserved open space, though at a higher density level than the Rural Estate designation.

| Low Density Residential |           |
|-------------------------|-----------|
| Development Type        | du / acre |
| Standard Development    | 1:5       |
| Cluster Development     | 1:2.5     |
| Transfer Development    | 1:1       |





**NEIGHBORHOOD RESIDENTIAL**

Neighborhood Residential is a designation for a higher intensity of use than the previous two residential districts. This district surrounds the village and higher density areas, acting as a transition zone near sensitive natural features and protected areas.

| Neighborhood Residential |           |
|--------------------------|-----------|
| Development Type         | du / acre |
| Standard Development     | 1:1       |
| Cluster Development      | 2:1       |
| Transfer Development     | 3:1       |

**MANUFACTURED HOUSING PARK**

Manufactured Housing Park is a designation for equitable residential units that are placed at higher density levels than the Medium Residential designation.

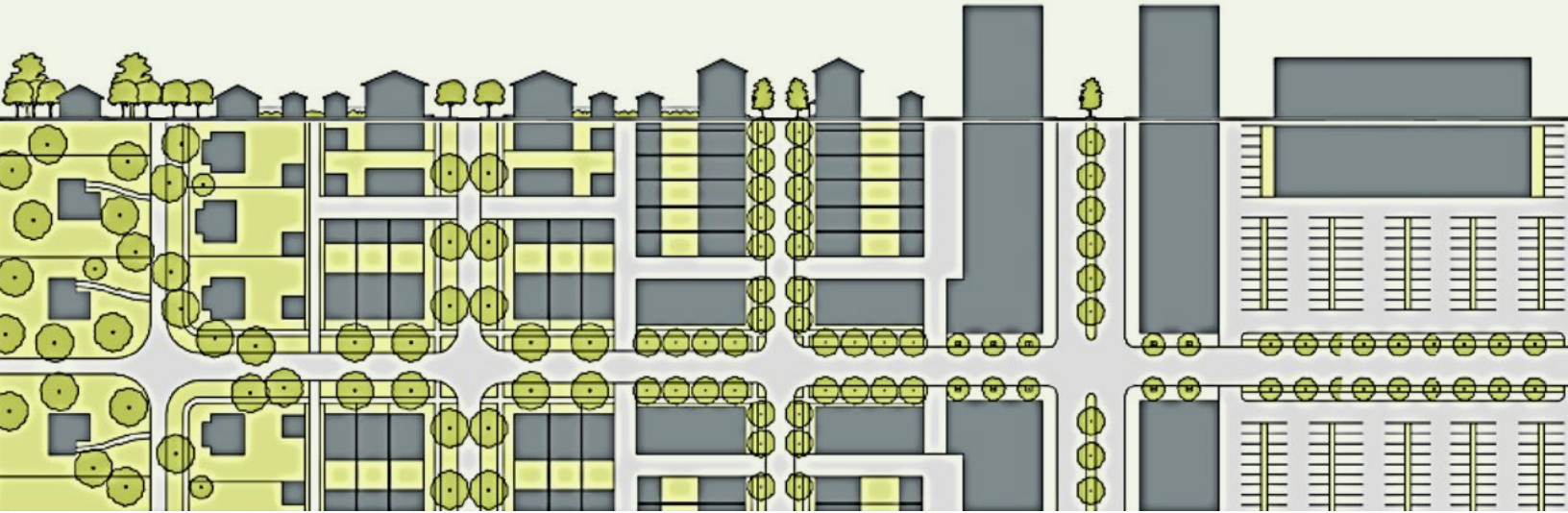


### RURAL TOWN CENTER

Rural Town Center is a designation for small lot, mixed-density residential, affordable residential, and mixed-use residential/commercial development. This district is comprised of shop fronts, recreational space such as plazas and pocket parks, buildings set closer to sidewalks, connectivity to active streets and trails, all while maintaining a residential small town community fabric. In order to obtain the desired design and density of this district, more detailed guidance must be provided through the zoning ordinance. The ultimate density of this district will be determined by a Regulating Plan adopted as part of the Township Zoning Ordinance.



### COMMERCIAL, OFFICE, INDUSTRIAL AND RESEARCH LAND USES



#### COMMERCIAL CENTER

Commercial Center is a designation for intense mixed, commercial, fabrication, and flex-employment uses that are set close to the street. The residential fabric is more intense and incorporates live-work units. The public open space is designed to be more urban and integrated with a tight network of streets, sidewalks, and steady tree canopy coverage along pedestrian walkways.

#### RESEARCH/OFFICE CENTER

Research/Office Center is a designation for a variety of green and light and moderate manufacturing, technology-based, research and development, and office industry uses.

#### LIGHT INDUSTRIAL

Light Industrial is a designation for slightly higher intensity and wider array of uses when compared to the Research/Office Center District. These uses consist of fabrication, green and light manufacturing, technology-based engineering, research and development, and other similar type uses.



## OTHER CATEGORIES

### INSTITUTIONAL/LOCAL RECREATION

Institutional/Local Recreation is a designation for local recreation and public and quasi-public institutional uses.

### STATE RECREATION

State Recreation is a designation for a substantial amount of land in the Township and is consistent with existing boundaries of parks and State conserved areas.

### URBAN SERVICE DISTRICT

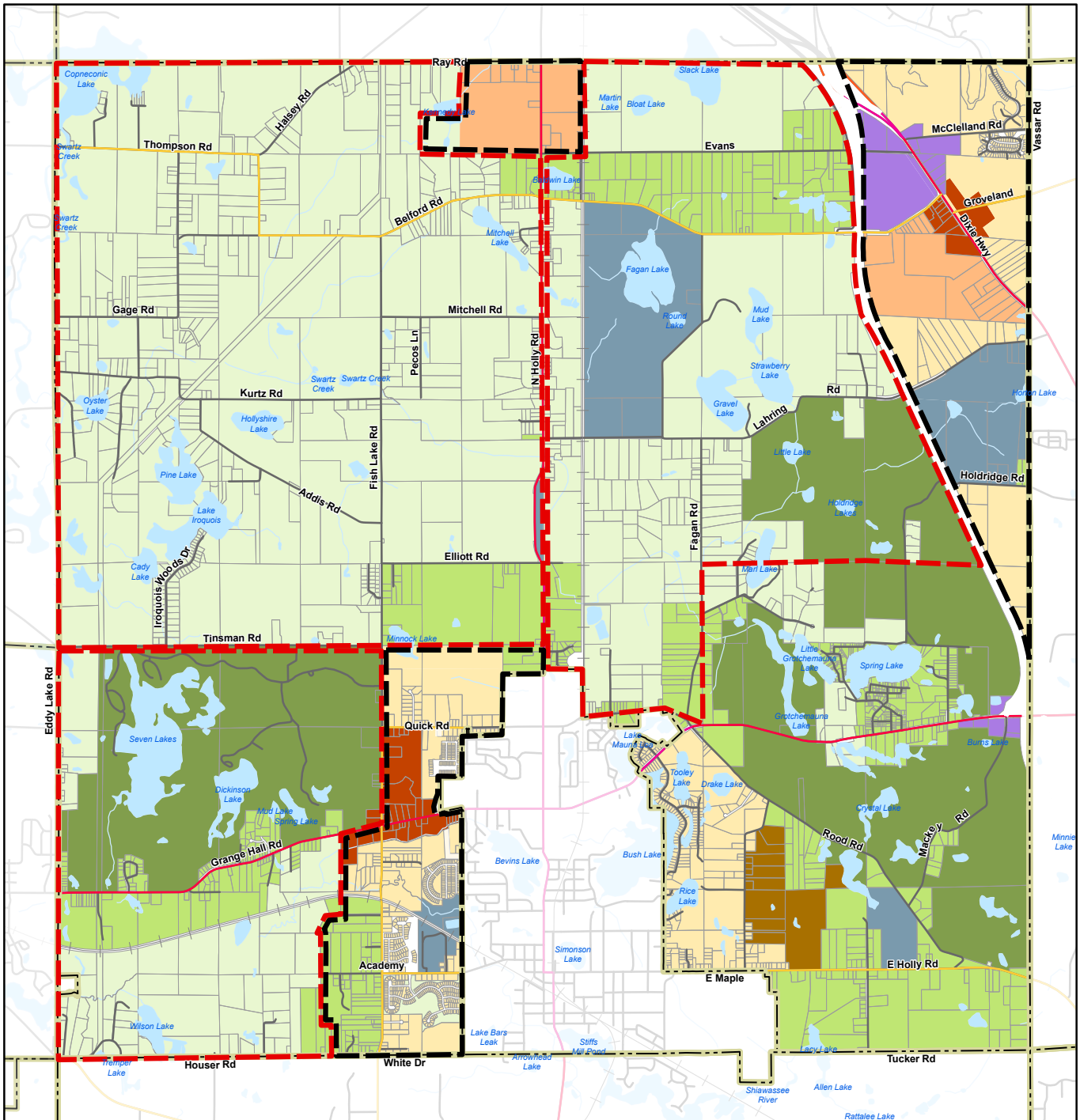
Urban Service District is an overlay designation that includes areas that the Township has supplied essential services to in order to support existing/emerging industries and a live/work population.

Table 34 reveals the total percentages, number of parcels, and total acreage of each land use designation in relation to all other land use designations, and the densities of residential uses.

Table 34. Future Land Use

| Future Land Use                | # of Parcels | Acreage | % of Total |
|--------------------------------|--------------|---------|------------|
| Rural Estate                   | 758          | 10,077  | 48.40      |
| State Recreational Lands       | 27           | 3,758   | 18.05      |
| Low Density Residential        | 774          | 2,954   | 14.19      |
| Neighborhood Residential       | 1,010        | 1,874   | 9.00       |
| Institutional/Local Recreation | 23           | 1000    | 4.80       |
| Research/Office Center         | 36           | 533     | 2.56       |
| Rural Town                     | 53           | 224     | 1.08       |
| Commercial Center              | 21           | 204     | 0.98       |
| Manufactured Housing Park      | 13           | 195     | 0.94       |
| Rural Town                     | 53           | 224     | 1.08       |












Source: McKenna



January 8, 2024

# Map 10: Future Land Use

Holly Township, Oakland County, Michigan

- |   |  |  |                                  |
|---|--|--|----------------------------------|
|  Rural Estate              |  Institutional/Local Recreation |  Urban Service/Receiving District | Urban Service/Receiving District |
|  Low Density Residential   |  State Recreation Lands         |  Sending Area                     |                                  |
|  Neighborhood Residential  |  Research/Office Center         |  |                                  |
|  Manufactured Housing Park |  |  |                                  |
|  Rural Town Center         |  |  |                                  |
|  Commercial Center         |  |  |                                  |



Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a.  
Data Base: Oakland County Data, 2012

# Village of Holly Future Land Use

The Village of Holly Future Land Use Map is located on the following page. The historic Village is located at the heart of the Holly Township, providing residents with great retail and service opportunities, jobs, entertainment, recreation, community events, and a variety of unique residential housing choices.

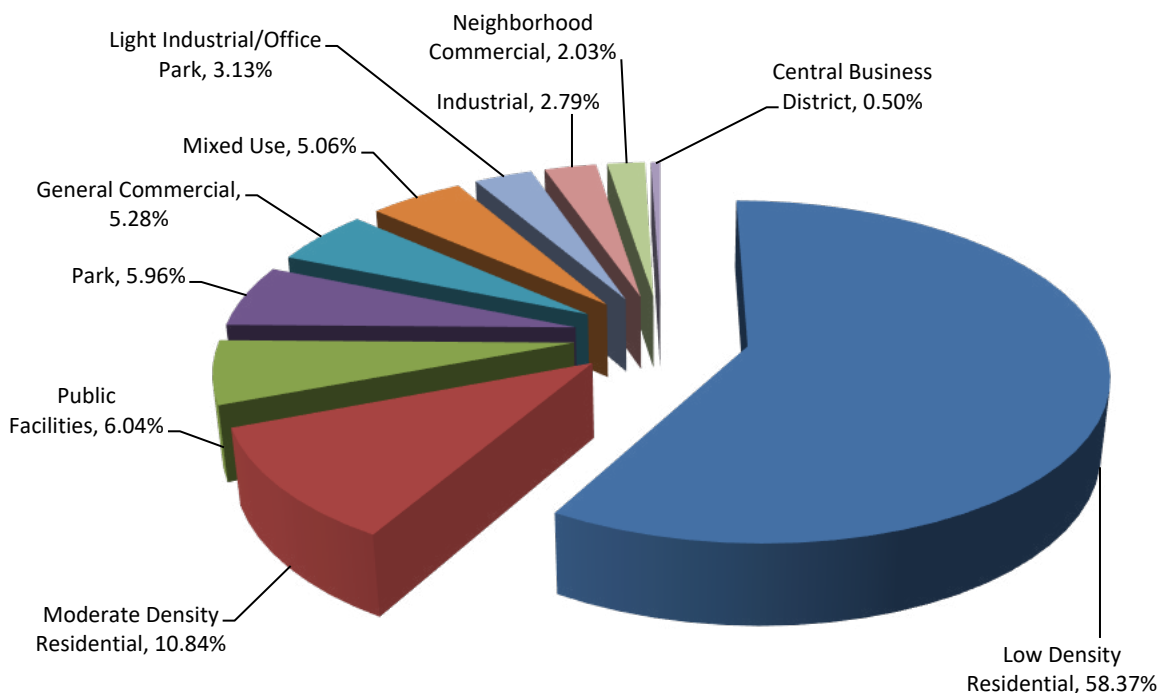
Table 35 and Figure Y below gives the various acreages for each of the Village's land use designations:

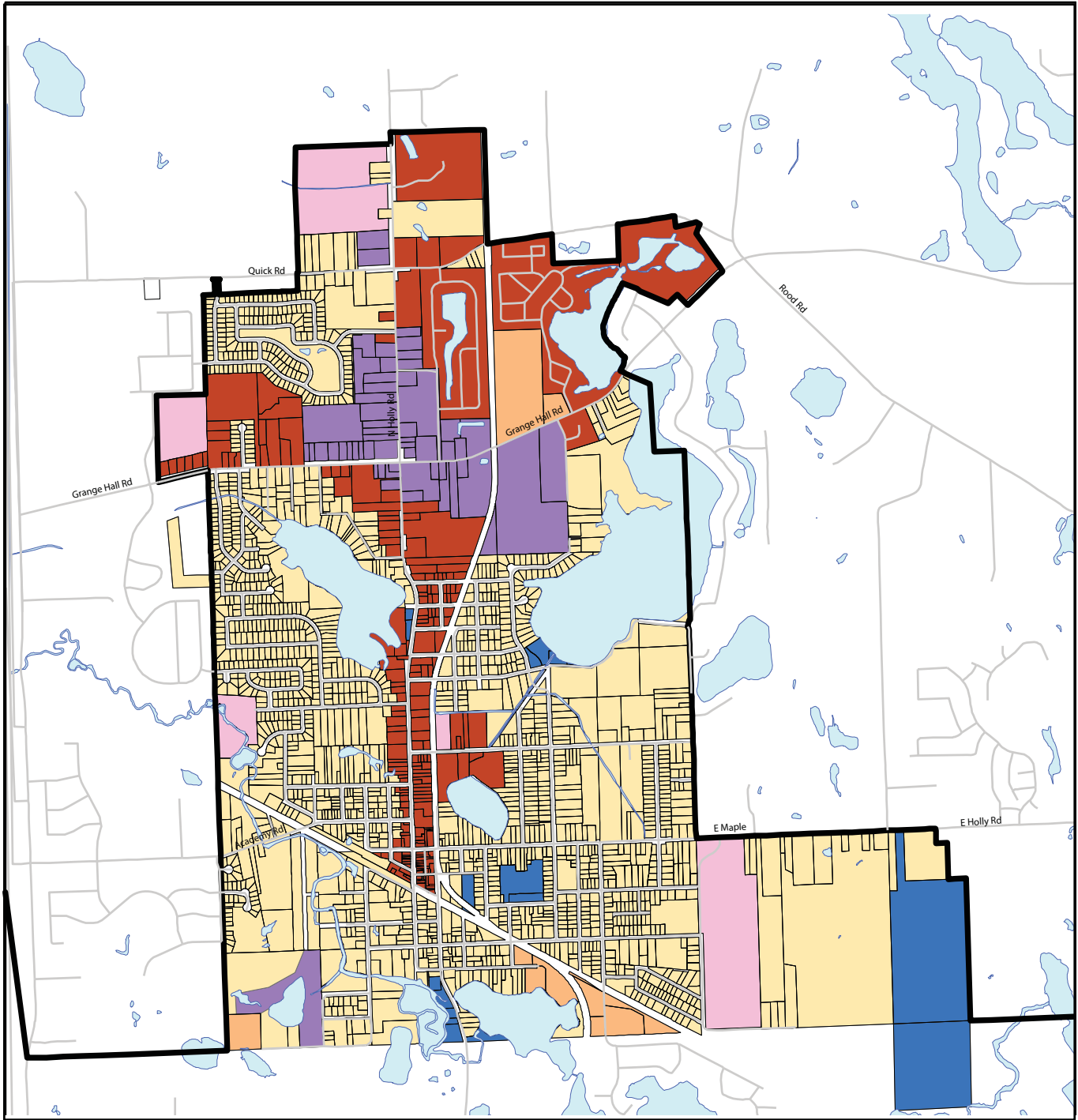
Table 35. Future Land Use – Village of Holly

| Land Use Designation         | # of Parcels | Acreage | % of Total |
|------------------------------|--------------|---------|------------|
| Low Density Residential      | 1713         | 1007.3  | 58.37%     |
| Moderate Density Residential | 23           | 187.0   | 10.84%     |
| Public Facilities            | 6            | 104.2   | 6.04%      |
| Park                         | 18           | 102.8   | 5.96%      |
| General Commercial           | 52           | 91.1    | 5.28%      |
| Mixed Use                    | 93           | 87.4    | 5.06%      |
| Light Industrial/Office Park | 4            | 54.0    | 3.13%      |
| Industrial                   | 11           | 48.2    | 2.79%      |
| Neighborhood Commercial      | 34           | 35.0    | 2.03%      |
| Central Business District    | 62           | 8.7     | 0.50%      |

Source: Carlisle/Wortman Associates

Figure Y. Future Land Use, Village of Holly

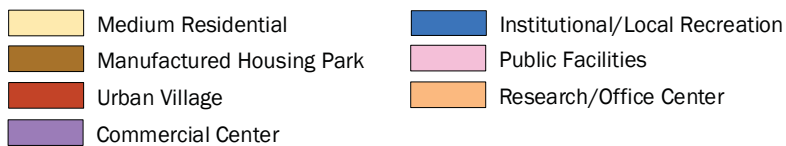




February 1, 2016

## Map 11: Village of Holly Future Land Use

Holly Township, Oakland County, Michigan



Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012.

# Zoning Plan

Holly Township strives to maintain a high quality of life through the preservation of natural resources and preservation of rural character. However, disconnect between the goals of the Township and the Zoning Ordinance may occur. The Michigan Planning Enabling Act (Public Act 33 of 2008) bridges this disconnect by requiring a Zoning Plan as part of the Master Plan. The Zoning Ordinance is the primary land use implementation tool available to the Township.

## ROLE OF THE MASTER PLAN AND ZONING ORDINANCE

The Master Plan sets forth the vision, goals, policies for growth and development in the Township for the next 20 years. It includes strategies for managing growth and change in land uses over this period. The plan is required to be reviewed at least once every five years.

The Zoning Ordinance regulates the use and development of land. By Public Act 110 of 2006, as amended, it is based on a plan designed to promote public safety and general welfare and several additional items as described in the Act.

## ROLE OF THE ZONING PLAN

The Zoning Plan describes the relationship between the future land use categories in the Master Plan and the comparable Zoning Ordinance districts. This Plan is required by the Michigan Planning Enabling Act (P. A. 33 of 2008). Not to be confused with the Zoning Ordinance, the Zoning Plan provides generalized recommendations for methods of bringing the Zoning Ordinance in closer relation with the future land use vision. The Zoning Plan compares zoning districts and future land use categories as well as the intent and basic standards that control the height, area, bulk, location, and use of buildings and premises in comparable zoning districts. These matters are regulated by specific standards in the Zoning Ordinance.



## DISTRICT STANDARDS

As shown in Table 36, the Master Plan sets forth ten future land use categories. The Zoning Ordinance currently has 13 zoning districts and one overlay district (Grange Hall/Fish Lake Road Overlay District). The Zoning Ordinance, in large part, describes a segregated land use pattern. The Master Plan uses a more integrated approach to land use categorizing.

The format of Table 36 is to provide primary locations of respective zoning districts that are impacted the greatest. One future land use category may be listed in multiple zoning districts due to the transition from the segregated to the integrated approach.

All of the future land use categories can be associated with a zoning district(s). The Mixed Use category provides flexibility and is intended to provoke creative and adaptive land uses which would be compatible with surrounding uses and will likely require the establishment a new mixed use zoning district.

Map 12 illustrates the relationship between the Future Land Use Plan and existing zoning districts.

**Table 36. Land Use Category / Zoning District Comparison**

| Future Land Use Category          | Density                           | Corresponding Zoning District(s)   |
|-----------------------------------|-----------------------------------|--|
| Resource Conservation/Residential | 1 dwelling unit / 2.5 - 4.0 acres | Agricultural Residential (AGRE)  |
| State Recreation Lands            | N/A                               | Agricultural Residential (AGRE)  |
| Low Density Residential           | 1 dwelling unit / 1 - 5 acres     | Rural Estate (RE)  |
| Neighborhood Residential          | 1-5 dwelling units / 1 acre       | Single Family Residential (R-1 and R-2)<br>Multiple Family Residential (RM-1 and RM-2) |
| Institutional/Local Recreation    | N/A                               | N/A  |
| Research/Office Center            | N/A                               | Office Service (OS)  |
| Manufactured Housing Park         | N/A                               | Mobile Home Park (RMH)   |
| Commercial Center                 | N/A                               | Local Commercial (C-1)<br>General Commercial (C-2)<br>Office Service (OS)              |
| Light Industrial                  | N/A                               | Limited Industrial (L-1)   |
| Rural Town Center                 | *                                 | **   |

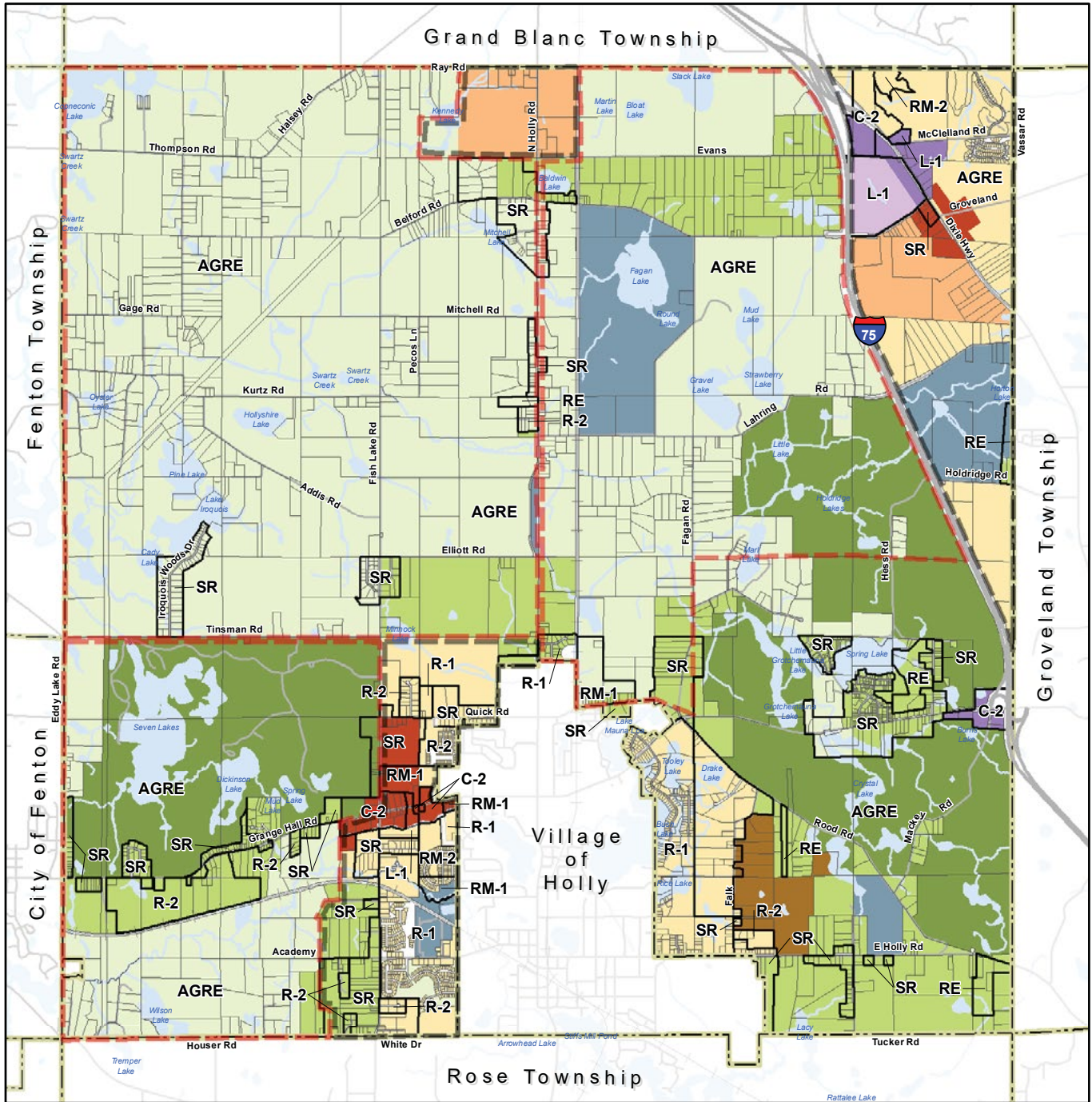
\* Provides for varying types of residential uses. Zoning District may vary. Density for the Rural Town Center must be determined by a Regulating Plan.

\*\* The Rural Town Center will require the development of a new mixed-use zoning district

## RECOMMENDED ZONING ORDINANCE ACTIONS

Because the Township has consistently refined the Zoning Ordinance throughout the past 20 years, the Zoning Ordinance is relatively consistent with the overall vision of the Township, including the goals and policies. The future land use categories are also consistent. However, the Planning Commission should consider the following issues before the next update of the Master Plan
















1. Creation of a Research and Development zoning district to correlate with the Research/Office land use category.
2. Creation of a Mixed-Use zoning district to correlate with the Rural Town Center land use category.
3. Review the Zoning Ordinance to ensure that creative development opportunities exist for single family developments to avoid significant negative environmental impacts that may otherwise occur with conventional developments including residential design standards.
4. Incorporate incentives and requirements that promote sustainable practices for new development.
5. Develop a Regulating Plan for the Rural Town Center district to provide design and density standards for development.



July 21, 2016

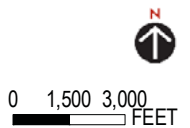
## Map 12: Future Land Use Overlay Zoning

Holly Township, Oakland County, Michigan

|   |   |   |                                       |
|---|---|---|---------------------------------------|
|  | Rural Estate (Resource Conservation)                            |  | Rural Town Center (Mixed Use)         |
|  | Low Density Residential/Agricultural                            |  | Light Industrial                      |
|  | Low Density Estate Residential (Low Density Estate Residential) |  | Commercial Center (Commercial/Office) |
|  | Medium Density Residential                                      |  | Research/Office Center                |
|  | Multiple Density Residential                                    |  | State Recreation Lands                |
|  | Neighborhood Residential (Planned Residential)                  |  | Urban Service/Receiving District      |
|  | Manufactured Housing Park                                       |  | Sending Area                          |
|  | Institutional/Local Recreation                                  |   |                                       |

### Zoning Districts

|      |                                     |
|------|-------------------------------------|
| AGRE | Agricultural Residential (5.0 ac.)  |
| R-1  | Single Family Residential (0.5 ac.) |
| R-2  | Single Family Residential (1.0 ac.) |
| SR   | Suburban Residential (1.5 ac.)      |
| RE   | Rural Estate (2.5 ac.)              |
| RMH  | Mobile Home Park                    |
| RM-1 | Multi-Family Residential (RM-1)     |
| RM-2 | Multi-Family Residential (RM-2)     |
| C-1  | Local Commercial                    |
| C-2  | General Commercial                  |
| OS   | Office Service                      |
| L-1  | Limited Industrial                  |
| G-1  | General Industrial                  |

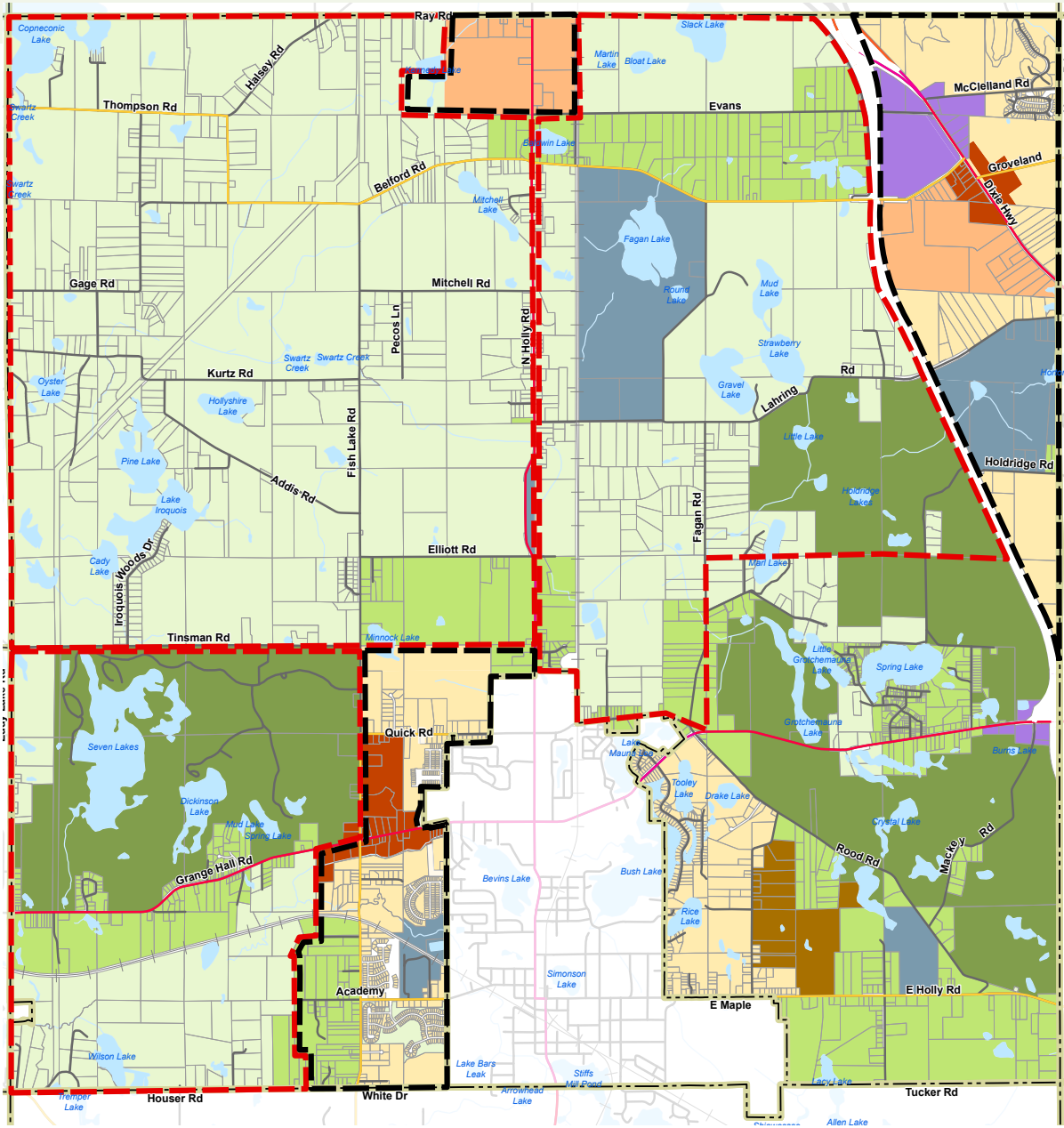


**McKenna**  
ASSOCIATES

Base Map Source: Oakland County GIS, 2014  
and Michigan Geographic Framework Version 14a.  
Data Source: Carlisle/Wortman Associates, Inc. 2004

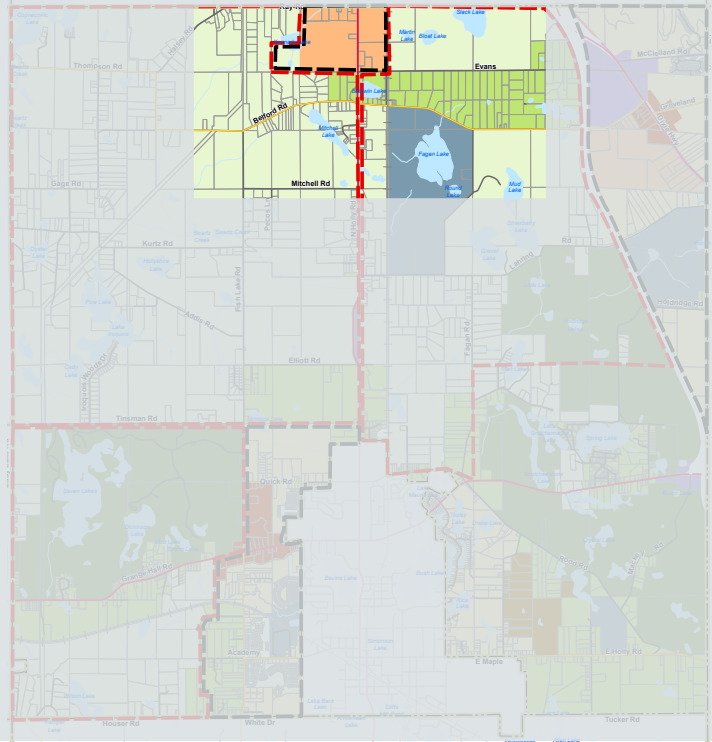
# Corridor and Subarea Plans

This section is intended to highlight targeted corridors and subareas within Holly Township that exhibit strategic growth potential in context of its geographical location and connection to the surrounding region. There are four focus areas that include North Holly Road, the Enterprise and Recreation District, the Great Lakes Community, and the Fish Lake Community. There are five corridor plans which lay out key transportation issues and recommendations to address them. The corridor areas evaluated are East Holly Road, Ratalee Lake Wetlands Area, Grange Hall Road, North Holly Road, and the Great Lakes National Veterans Cemetery. Each plan consists of unique objectives, development guidelines, and implementation strategies so as to achieve the development pattern desired by Holly Township and its residents, and place Holly Township in the best possible position for a prosperous and sustainable future. The map below depicts Holly Township and the approximate locations of each focus area highlighted by dashed black outlines.



# North Holly Road

North Holly Road plays an integral role in anchoring Holly Township's northern gateway. This area is planned to attract science, technology, engineering, and mathematics (STEM) related research and professional office uses, and leverage its proximity to the Technology Village in Grand Blanc Township. Largely undeveloped and vacant, this portion of the Township is an optimal location for burgeoning and established businesses to develop appropriate facilities that meet their needs, while still reflecting the rural character of the surrounding community.



## OBJECTIVES

- » Create a thriving and innovative research and office center, attracting STEM and burgeoning technologies that can leverage the geography and appreciate the rural advantages that exist within Holly Township.
- » Enhance linkages between Holly Township and the Grand Blanc Technology Village
- » Encourage intelligent and sustainable design in accordance with Leadership in Energy and Environmental Design (LEED) Green Building standards, limiting surface lots and their spatial positioning on sites, as well as maintain building design that is consistent with the rural character and connectivity of the surrounding community and its relationship with well-designed walkable streets.

## DEVELOPMENT GUIDELINES

- » Development should be oriented towards the street with setbacks consistent with the surrounding environment, preserving native vegetation though promoting connectivity to the multi-modal transportation network. The buildings in this district are encouraged to embody the rural architectural style of the community. Rural architecture includes gabled roofs, shuttered windows and large doors, unique window and door trims, weathered and treated woods, river stone and brick, liberal interpretations of barn and farmhouse styled office structures, as well as incorporating modern glass and steel elements to promote green and structural sustainability.
- » Buildings should follow LEED Green Building design standards in order to create a well assimilated development that is conscious of the surrounding natural rural environment and topographical contours.
- » Surface lots and expansive pavement shall be limited within this district. Encouraged are innovative and shared parking designs, including parking garages beneath elevated buildings, and permeable green surface lots.



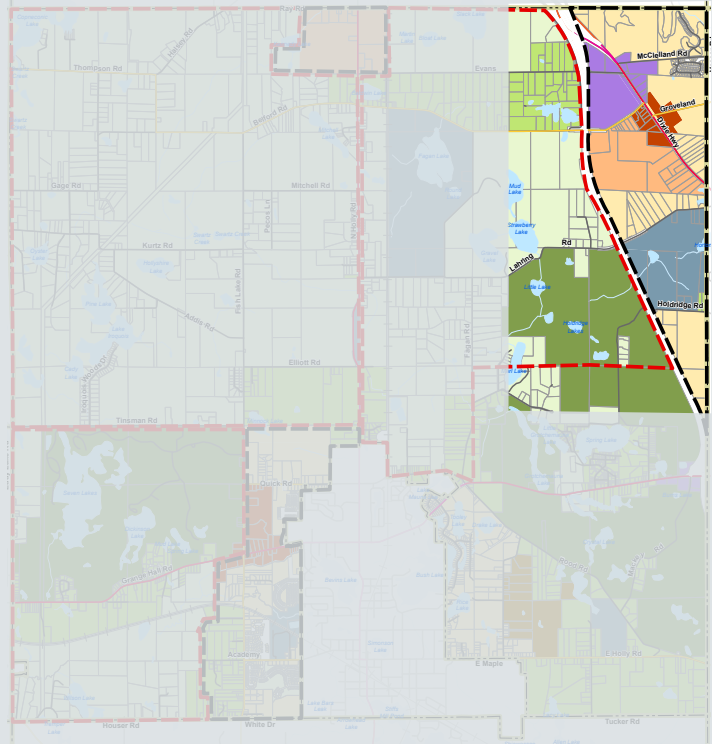
**IMPLEMENTATION**

- » Create new zoning classification for Research/Office Center.
- » Create architectural design standards to reflect the rural character of the community.
- » Rezone properties according to the future land use plan and new Zoning Ordinance.
- » Collaborate with adjacent communities, and coordinate with Technology Village to ensure compatibility of projects.
- » Encourage LEED certification for new or renovated buildings.
- » Improve pedestrian experience through complete streets and walkable scaled amenities.



# Enterprise and Recreation District

The Enterprise and Recreation District, located at the northeast corner of Holly Township, is the community's new targeted center of activity and growth. This diverse district focuses on attracting energetic businesses and residents who are looking to create the type of community that offers a high quality of life, full of live/work and recreational opportunities. This area will accommodate a variety of residential options that directly connect to a mixed use corridor situated along Dixie Highway. The location of Dixie Highway and I-75 also provide ample opportunity for research/office and commercial developments to thrive in conjunction with their location to the region as well as their relation to Technology Village.



## OBJECTIVES

- » Create a diverse and interesting community that supports the live, work, and play lifestyle.
- » Connect the Enterprise and Recreation District to assets within Holly Township, supporting the interconnectivity of communities and supporting targeted growth in the northeast corner of the area.
- » Enhance linkages between Holly Township and the Grand Blanc Technology Village.
- » Encourage intelligent and sustainable design in accordance with LEED Green Building standards, limiting surface lots and their spatial positioning on sites, as well as maintain building design that is consistent with the rural character and connectivity of the surrounding community and its relationship with well-designed walkable streets.
- » Reinforce the recreational opportunities within the district including Mt. Holly, Renaissance Festival, potential regional ORV park, and multiple connections to regional trail and recreational opportunities.

## DEVELOPMENT GUIDELINES

- » Development should be oriented towards the street, with small setbacks and interesting rural architectural design. Rural architecture includes gabled roofs, shuttered windows and large doors, weathered and treated woods, river stone and brick, liberal interpretations of townhome and farmhouse styled offices and residences, as well as incorporating modern glass and steel elements to promote green and structural sustainability.
- » Buildings should follow LEED Green Building design standards in order to create a well assimilated development that is conscious of the surrounding natural rural environment and topographical contours.
- » Surface lots and expansive pavement shall be limited within this district. Encouraged are street parking patterns, innovative and shared parking designs which include parking garages beneath elevated buildings, and permeable green surface lots.
- » Wherever possible, public gathering spaces and pocket parks that preserve the natural environment in ways that the community can enjoy are highly encouraged.



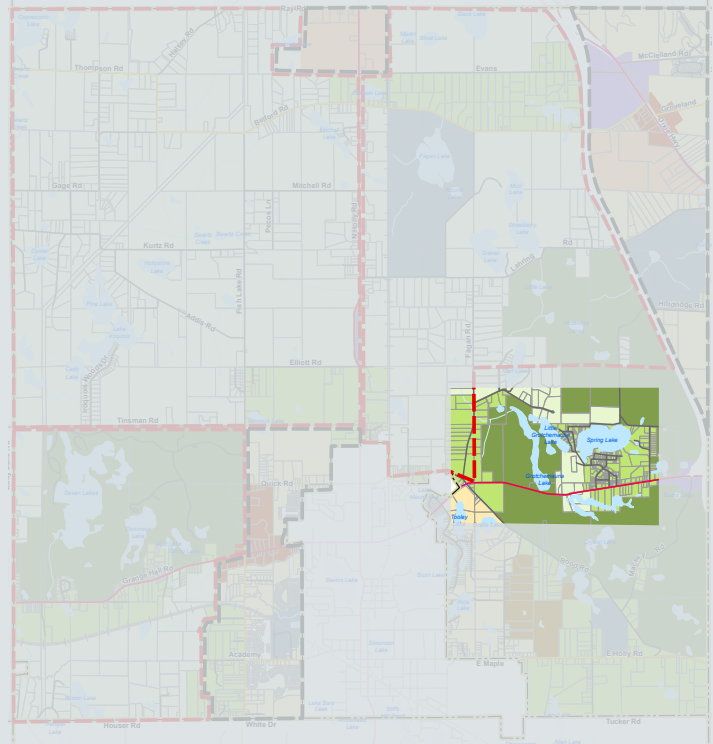
**IMPLEMENTATION**

- » Create and enforce new zoning classification for Rural Town Center, Research/Office Center and Commercial Center.
- » Create architectural design standards to reflect the rural character of the community and achieve the mixed use and concentrated development pattern desired.
- » Rezone properties according to the future land use plan and new Zoning Ordinance.
- » Collaborate with adjacent communities, and coordinate with Technology Village to ensure compatibility of projects.
- » Encourage LEED certification for new or renovated buildings.
- » Improve pedestrian experience through complete streets and walkable scaled amenities.
- » Create a park and public space standard for targeted districts within Holly Township.



# Great Lakes Community

The Great Lakes Community, located at the southeastern portion of Holly Township near the Groveland Township border, perfectly complements the nearby Village of Holly and is located just down the road from the Enterprise and Recreation District. The Great Lakes Community is an optimal location for those who would like to live and work in Holly Township's vibrant districts yet still prefer to immerse themselves in a slower pace "up-north" lake front community. The larger lot sizes, lakefront, and natural wooded and rural landscape define this geography; this plan focuses on the preservation of these historic characteristics and its high quality traditional rural styled development.



## OBJECTIVES

- » Preserve the existing lake front "up-north" character of the Great Lakes Community.
- » Promote creative residential green design and development patterns to better mitigate stresses on the natural systems of the area, and preserve the wooded, rural character of the community.
- » Enhance linkages between each of the surrounding districts within the Township, especially in connecting the Great Lakes Community to greater Holly Township to achieve the live work principles, while preserving the character of the community.

## DEVELOPMENT GUIDELINES

- » Expansive landscaped lots and broadly sodded fronts are discouraged in this district. Each individual development site should accommodate the natural topography, features, and site lines of the lot, ultimately settling the residence in a position that maximizes the natural untamed beauty and functions of the environment.
- » Residences should be consistent with American, Cottage, Folk Farmhouse, and other traditional but informal architectural styles. These recommended architectural styles include such features as 1 to 2 story dwellings with gabled roofs, dormers, large functional shuttered and symmetrical windows, welcoming front covered porches often designed with wooden pillars and ornate railing details, elevation accents and colors to highlight unique design features, and an exterior typically faced with high-quality light colored horizontal siding or traditional red brick. The dwelling footprint is typically squared with an addition of wings for common variations in footprint design.
- » Garages and accessory units may be attached or detached, styled as a barn or carriage house in order to further promote the rural farmhouse environment of Holly Township.
- » Where fences are desired, wood split rail, picket, or horse fence, is strongly encouraged, installed in such a way as to compliment the rural landscape, site design, and not obstruct or limit the curb appeal of the residence.
- » The images on the following page provide a great example of the desired and existing farmhouse storybook character within the Great Lakes Community.





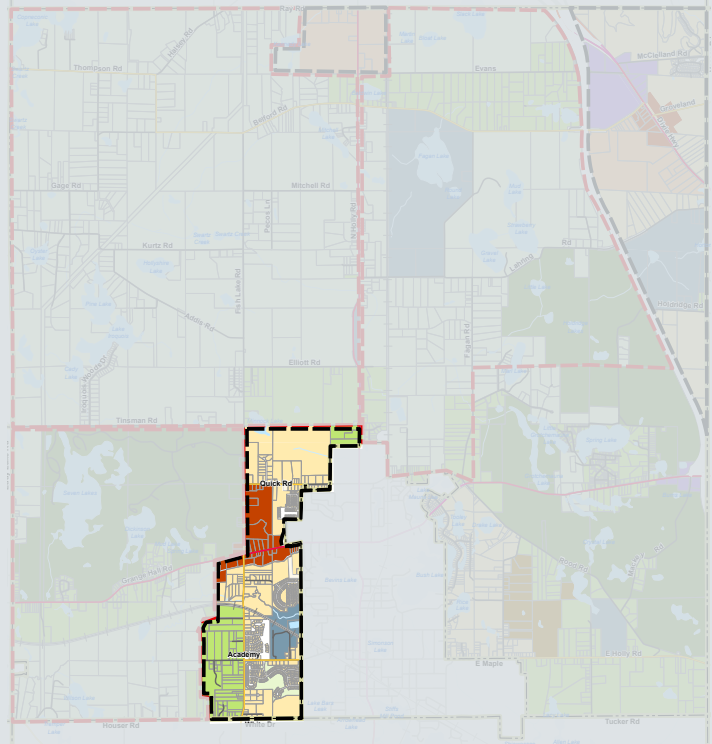
**IMPLEMENTATION**

- » Create and enforce new zoning classification for Low Density Residential and Rural Estate.
- » Create architectural design standards to reflect the rural residential character of the community and promote high-quality construction and design.
- » Rezone properties according to the future land use plan and new Zoning Ordinance.
- » Improve pedestrian experience through development of trails.
- » Create a park and public space standard for targeted districts within Holly Township.



# Fish Lake Traditional Neighborhood

The Fish Lake Traditional Neighborhood District, located due west along the Village of Holly, is a higher density center of residential and commercial activity. This district is focused on attracting mixed use developments and further establish the desirable residential community in the area. The Fish Lake Traditional Neighborhood truly provides the active small town experience intermixed with a slower paced residential community. This area will display excellent street design that promotes cooperative transportation modes, recreational programming and opportunities, quality retail and office uses, and most importantly the rural small town character of Holly Township.



## OBJECTIVES

- » Create a diverse and interesting community that supports the live, work, and play lifestyle.
- » Connect the Fish Lake Traditional Neighborhood District to assets within Holly Township, supporting the interconnectivity of communities.
- » Enhance linkages between Holly Township and the Village of Holly.
- » Encourage intelligent and sustainable design in accordance with LEED Green Building standards, limiting surface lots and their spatial positioning on sites, as well as maintain building design that is consistent with the rural character and connectivity of the surrounding community and its relationship with well-designed walkable streets.

## DEVELOPMENT GUIDELINES

- » Development should be oriented towards the street, with small setbacks and interesting rural architectural design. Rural architecture includes gabled roofs, shuttered windows and large doors, weathered and treated woods, river stone and brick, liberal interpretations of townhome and farmhouse styled offices and residences, as well as incorporating modern glass and steel elements to promote green and structural sustainability.
- » Buildings should follow LEED Green Building design standards in order to create a well assimilated development that is conscious of the surrounding natural rural environment and topographical contours.
- » Surface lots and expansive pavement shall be limited within this district. Encouraged are street parking patterns, innovative and shared parking designs which include parking garages beneath elevated buildings, and permeable green surface lots.
- » Wherever possible, public gathering spaces and pocket parks that preserve the natural environment in ways that the community can enjoy are highly encouraged.



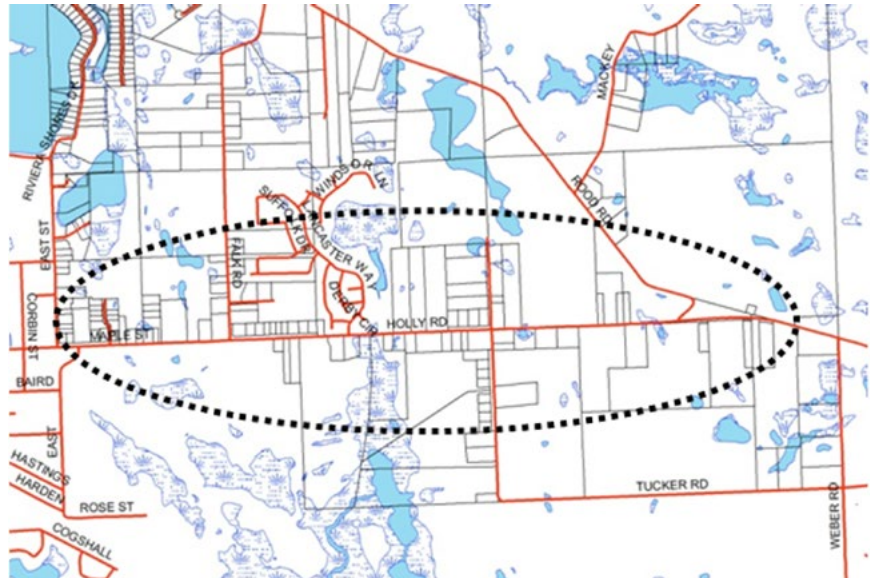
**IMPLEMENTATION**

- » Create and enforce new zoning classification for Rural Town, Neighborhood Residential, and Research/Office Center and Commercial Center.
- » Create architectural design standards to reflect the rural character of the community and achieve the mixed use and concentrated development pattern desired.
- » Rezone properties according to the future land use plan and new Zoning Ordinance.
- » Collaborate with adjacent communities, and coordinate with the Village of Holly to ensure compatibility of projects.
- » Encourage LEED certification for new or renovated buildings.
- » Improve pedestrian experience through complete streets and walkable scaled amenities.
- » Create a park and public space standard for targeted districts within Holly Township.



# East Holly Road Corridor

| ISSUES                        |   |
|-------------------------------|---|
| Transportation/Circulation    | ✓ |
| Transportation/Traffic Impact | ✓ |
| Natural Resources Impacts     | ✓ |
| Rural Character Impacts       | ✓ |
| Land Use Conflicts            | ✓ |
| Vulnerable Land Uses          | ✓ |
| Multi-jurisdictional          | ✓ |
| Aesthetics/Image              | ✓ |



## RECOMMENDATIONS

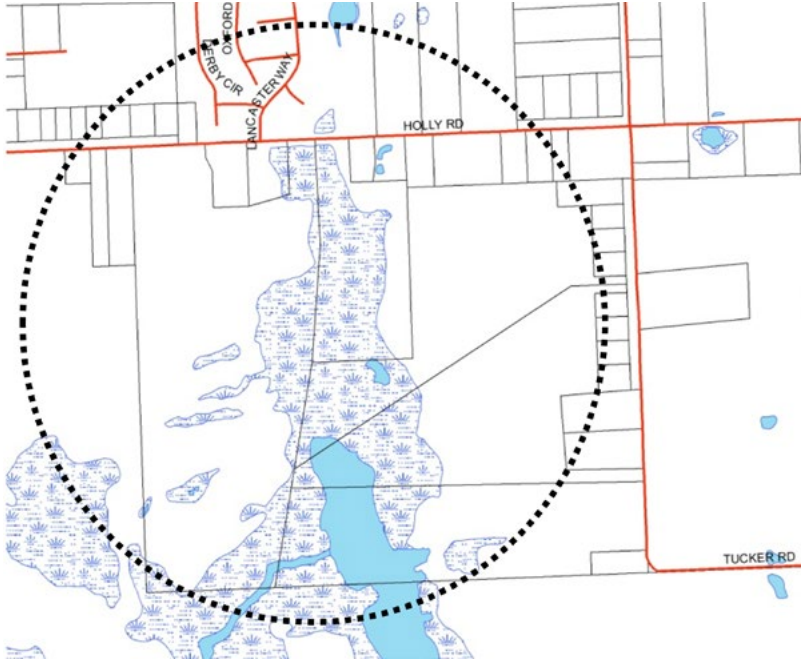
As depicted above, the East Holly Road faces many issues and potential impacts. This corridor plays a role in community image due to its location as one of the entry points into the Township. In order to address these issues, the following recommendations have been developed.

- » Promote shared drives to minimize curb cuts along roadway to decrease intersection points and increase safety.
- » Locate entry signs at eastern entry to Township.
- » Promote rural clustering to maintain rural appearance along roadway.
- » Coordinate with adjacent communities to encourage compatible land uses.
- » Install safety paths in accordance with the Safety Path Master Plan Map as funding becomes available.

Three critical areas are located along the East Holly Road corridor: Holly High School, the manufactured housing park, and the Rattalee Lake wetlands area.

# Rattalee Lake Wetlands Area

| ISSUES                        |   |
|-------------------------------|---|
| Transportation/Circulation    |   |
| Transportation/Traffic Impact |   |
| Natural Resources Impacts     | ✓ |
| Rural Character Impacts       | ✓ |
| Land Use Conflicts            | ✓ |
| Vulnerable Land Uses          |   |
| Multi-jurisdictional          | ✓ |
| Aesthetics/Image              | ✓ |



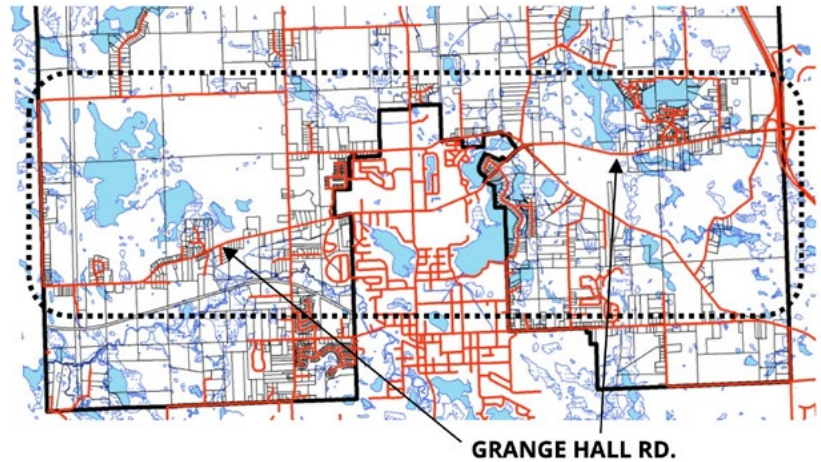
## RECOMMENDATIONS

The Rattalee Lake wetlands area is a truly unique asset shared by the Village of Holly, Holly Township, and Rose Township. The area is one of the few areas left in Oakland County which maintains its pre-settlement landscape. Only 0.5% of Oakland County remains in this undisturbed condition. Holly Township can capitalize on this natural asset by working for its protection and featuring the area as a visitor destination point which represents some of the natural beauty which can be found in the Township. The Rattalee Lake Greenway Project developed the following recommendations in order to preserve this unique asset. The following recommendations should be considered for this area:

- » Conservation easement or parcel donation to a land conservancy to protect undisturbed areas.
- » Natural area registration or agreement with a land conservancy.
- » Enrollment in the Farmland and Open Space Preservation Act (PA 116).
- » Creation of a management agreement to protect against invasion of alien plants or increases in stormwater runoff.
- » Implementation of Best Management Practices for stormwater.
- » Limitation of land clearing and grading to reduce stormwater runoff and remove pollutants.
- » Coordinate with surrounding communities and Oakland County in preservation efforts.
- » Promote the area as a destination point for visitors and include in any proposed Township trail system.
- » Allow only the least intense uses adjacent to the area to minimize impacts.

# Grange Hall Road Corridor

| ISSUES                        |   |
|-------------------------------|---|
| Transportation/Circulation    | ✓ |
| Transportation/Traffic Impact | ✓ |
| Natural Resources Impacts     |   |
| Rural Character Impacts       | ✓ |
| Land Use Conflicts            | ✓ |
| Vulnerable Land Uses          |   |
| Multi-jurisdictional          | ✓ |
| Aesthetics/Image              | ✓ |



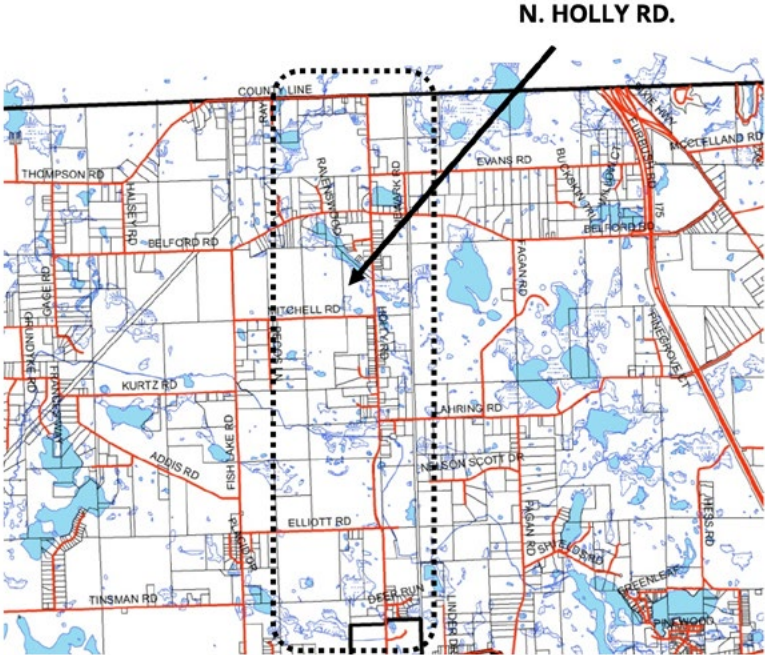
## RECOMMENDATIONS

The Grange Hall Road corridor is important to the Township's image as it serves for both east and west main entry points. The following recommendations were developed to attempt to improve the corridor and preserve its function as a major roadway in the Township:

- » Develop access management program to minimize curb cuts along roadway to decrease intersection points and increase safety.
- » Locate entry signs at the eastern and western borders of the Township.
- » Ensure needed roadway improvements are installed by developers through the site plan review process.
- » Install safety paths in accordance with the Safety Path Master Plan Map as funding becomes available.

# North Holly Road Corridor

| ISSUES                        |   |
|-------------------------------|---|
| Transportation/Circulation    | ✓ |
| Transportation/Traffic Impact | ✓ |
| Natural Resources Impacts     | ✓ |
| Rural Character Impacts       | ✓ |
| Land Use Conflicts            | ✓ |
| Vulnerable Land Uses          | ✓ |
| Multi-jurisdictional          | ✓ |
| Aesthetics/Image              | ✓ |



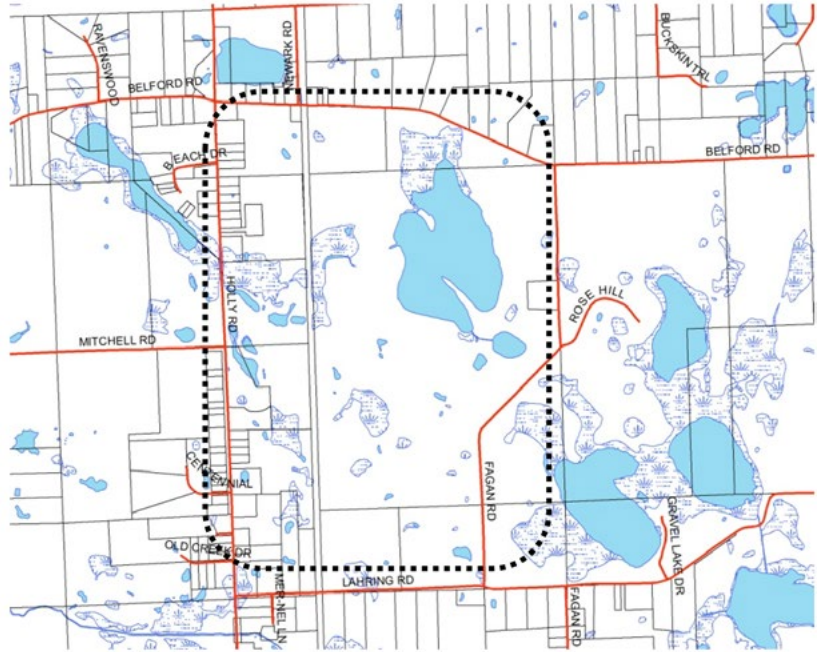
## RECOMMENDATIONS

Like Grange Hall Road, North Holly Road serves as an entryway into the Township. The development occurring in Grand Blanc Township, specifically in and around the Genesys Health Complex, may bring increasing amounts of traffic along the North Holly Road corridor and may bring development pressure from the north for commercial, office and light industrial land uses. However, land use trends in Holly Township remain consistent with single family residential uses and more intense uses are not anticipated in the near future. The National Veterans Cemetery will provide a regional attraction to this area of the Township. The following recommendations should be considered for the corridor:

- » Preserve the rural character of roadway by limiting density to the future land use designations of the properties, maintaining the existing tree canopy, and preserving view sheds.
- » Develop access management program to minimize curb cuts along the roadway.
- » Locate an entry sign at the northern boundary into the Township.
- » Ensure needed roadway improvements, such as acceleration/deceleration lanes or intersection improvements, are installed by private developers through the part of site plan review process.
- » Since many of the properties located on the corridor have valuable natural resources, density of development will be limited due to septic capability.
- » Since the corridor is not located in the Sewer and Water District, services are limited. However, this does not preclude future development. Therefore, development will likely have private wastewater systems.
- » Genesee County has in the past offered water and sewer services. Currently, these services are not being extended from the County. If the utilities became available, the Township could consider future development along the corridor.
- » Coordinate with Grand Blanc Township and consider transitional zoning for the area. Additionally, coordination with the Township is necessary to ensure that appropriate buffering is provided in transitioning Grand Blanc Township’s Light Industrial planned area and Holly Township’s Low Density Estate Residential.
- » If higher density development is proposed in Grand Blanc Township, both Holly Township and Grand Blanc Township should discuss mutually acceptable ways to minimize any potential conflicts at this border area, including buffers/screening, landscaping and generous setbacks.
- » If growth of the Genesys Health Center complex continues south to the Township boundary, then the Township should review future land uses in order to ensure a transition to existing land uses, which are medium to large lot, single family residential in character.
- » The Township should coordinate with Genesys regarding future plans for expansion.
- » The Township should coordinate with the Road Commission for Oakland County in this area to provide more right-of-way width to accommodate the various users including farm equipment, pedestrians, and vehicles.
- » The properties that border Grand Blanc Township have valuable natural resources. These valuable systems should continue to be protected from future development.

# Great Lakes National Veterans Cemetery

| ISSUES                        |   |
|-------------------------------|---|
| Transportation/Circulation    |   |
| Transportation/Traffic Impact | ✓ |
| Natural Resources Impacts     | ✓ |
| Rural Character Impacts       | ✓ |
| Land Use Conflicts            | ✓ |
| Vulnerable Land Uses          | ✓ |
| Multi-jurisdictional          | ✓ |
| Aesthetics/Image              | ✓ |



## RECOMMENDATIONS

The decision by the Federal Government to construct and operate the Great Lakes National Veterans Cemetery in Holly Township will continue to have a significant impact on the community. It is expected that 80,000 veterans will be buried in the cemetery by 2030, with additional capacity for another 20 years beyond 2030. The effects that the cemetery will have are numerous, including the impacts of the continued development of the site on neighboring properties, additional road use and traffic considerations. The Township and Village should consider the influx of visitors to the community and how such can provide a benefit to the area. The following recommendations should be considered for this area:

- » Start discussions between the Township and Village to develop a strategic plan.
- » Investigate programs to encourage visitors of the cemetery to visit the downtown, local businesses, the State and local parks, and any other appropriate locations. This could include signage, an informational booth or kiosk at the cemetery, or other appropriate measures.
- » Ensure that businesses, residents, and other properties along the travel routes to the cemetery, are properly maintained and screened, to promote a positive image of the community.
- » Work with the cemetery organization, Headwaters Trails, and other applicable organizations to connect the cemetery by trail, create trails through the cemetery, etc.



# Transportation Plan

The Transportation Plan proposes major transportation routes serving and resulting from future land use patterns. Based on existing road usage patterns, the land use plan, and estimated population and traffic increases, these routes will be relied upon as major or minor arteries, collector streets or local roads (see Map 7: "Functional Classification" on page 56).

As defined in the Goals and Policies section, a "Major Thoroughfare" carries large volumes of traffic across or through the Township and often provides access to state trunklines and expressways. Most major thoroughfares are Class A all-weather roads, and carry the brunt of industrial and truck traffic. These roads receive the highest priority for maintenance and repair.

A "Minor Thoroughfare" serves much the same purpose as a major thoroughfare, but carries a lighter column of traffic. The primary function is to connect major activity centers within the Township and provide access across the Township.

A "Collector" Road transports traffic from local and residential streets to major and minor thoroughfares. Traffic volumes are moderate.

"Local Streets" and Roads provide direct access to individual properties and typically have very low peaks and little traffic.

Major thoroughfares in Holly include North Holly Road and Grange Hall Road. Grange Hall provides the only paved direct east-west artery and accesses both US-23 and I-75. North Holly Road is the only paved direct north-south artery. Both roads currently carry heavy traffic volumes relative to the area. Land use trends north of Holly Township indicate that future high intensity land uses may be focused on North Holly Road, which indicates the need for the Township to consider the recommendations of the North Holly Road Corridor subarea plan previously in the Master Plan.

Minor thoroughfares running north-south include Fish Lake Road which is only partially paved, and Rood Road which is all gravel. Fish Lake provides access to Seven Lakes State Park—a major recreational attraction in the Township. Rood Road provides access to parts of the Holly State Recreation Area including several boat launch sites, and connects to Grange Hall Road, bypassing the Village. Minor thoroughfares running east-west include Lahring Road, connecting North Holly Road and Dixie Highway, and Belford Road, which traverses the entire northern portion of the Township. East Holly Road is also a minor thoroughfare providing direct access between downtown Holly and the Holly Road/I-75 interchange.

Collector Streets which provide access from local and residential roads to major and minor thoroughfares include Tinsman, Kurtz, Quick, Elliott, Mitchel, and Fagan Roads.

### MASTER RIGHT-OF-WAY PLAN

Adopted by the Township in 1996, Map 13 on page 109 shows Holly's Master Right-of-Way Plan, which was prepared by the Road Commission for Oakland County (RCOC). There are four county road classifications, including super-highway, urban super-highway, thoroughfare, and collector. The Township is limited in terms of development of new roads due to the presence of wetlands, lakes, and state lands. The RCOC is responsible for the majority of roadways in Holly Township. The RCOC should explore additional areas for right-of-way acquisition in the Township to provide alternative north-south and east-west routes. The intersection at Grange Hall and North Holly Road in particular is heavily congested. An alternate route could separate local from through traffic and could help mitigate this increasing problem.

With the exception of a few, all county roads are proposed for 120 foot right-of-ways, classifying them as "Thoroughfares." Addis, Gage, Grundyke, Evans, McClelland, Hess and Shields are classified as "Collectors", having a proposed right-of-way of 86 feet. These classifications are adequate to meet the needs of future development in Holly Township as they allow for a wide range of capacity expansion improvements to all existing roadways.

### RAIL TRANSIT CENTER

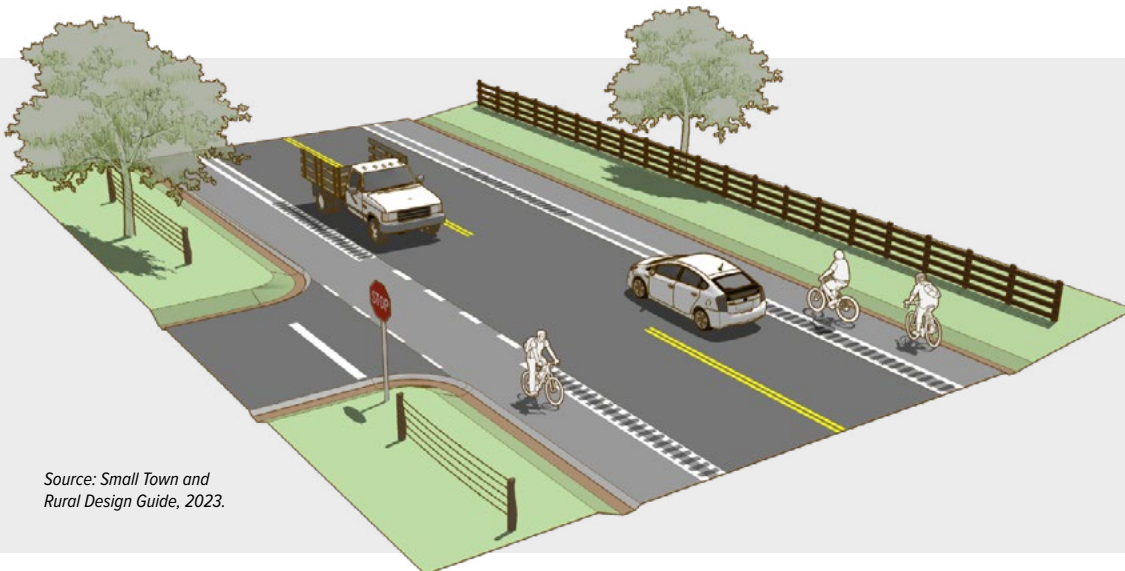
Given that Holly Township is predominantly a bedroom community the provision of transportation alternatives could greatly benefit area residents while also reducing traffic congestion problems. The Township will likely need to be active in this effort by contacting Amtrak and other agencies and businesses. This and other transportation alternatives should be pursued by the Township currently and in the future.

### COMPLETE STREETS

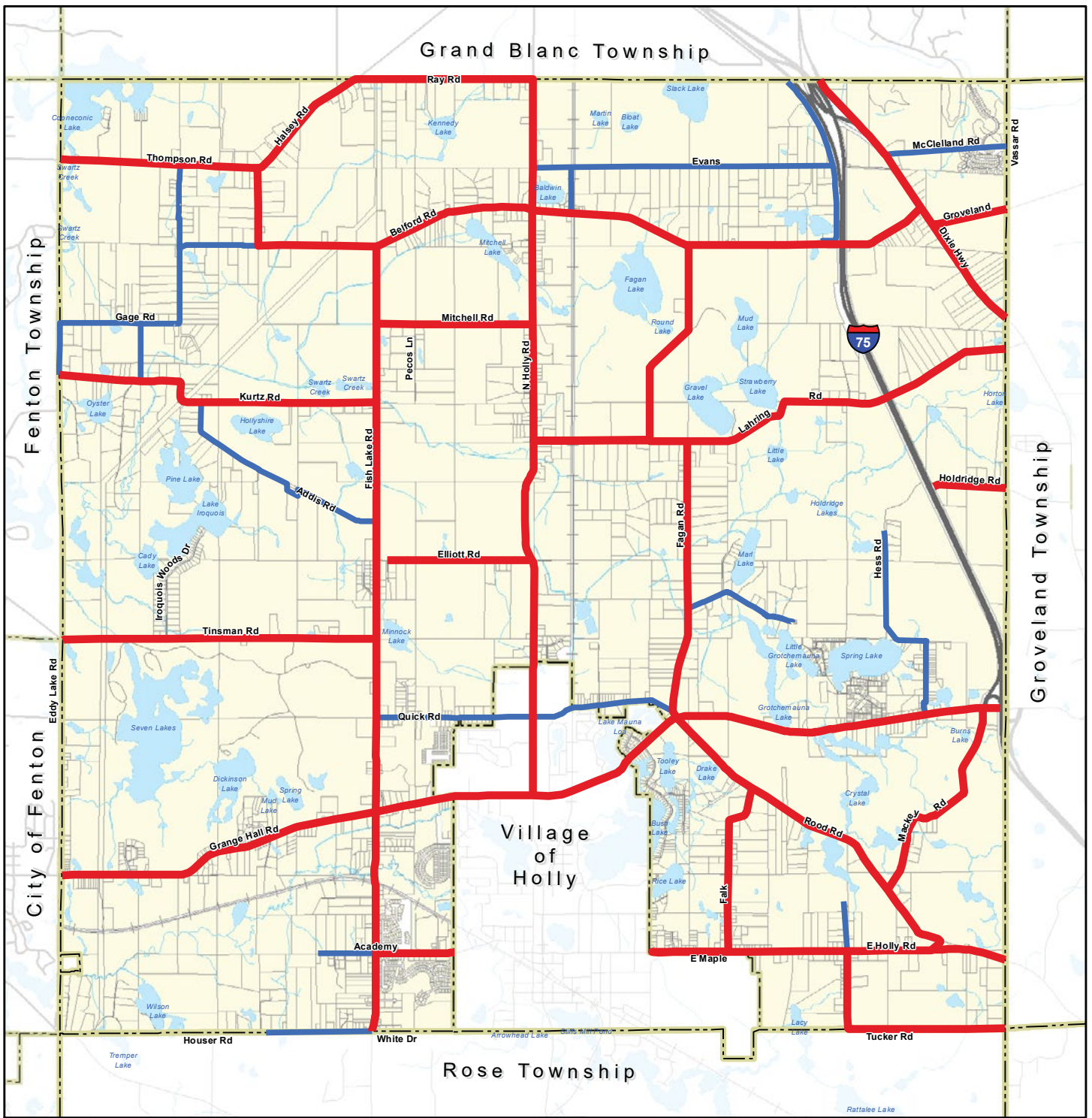
According to Michigan Public Act (PA) 135 of 2010, a Complete Street provides "appropriate access to all legal users in a manner that promotes safe and efficient movement of people and goods whether by car, truck, transit, assistive device, foot or bicycle." Complete streets have different meanings in different places. In a dense urban city, there will be different needs and concerns a complete street should address versus in a more rural town such as Holly Township.

The state does not require all streets to be complete streets, it simply encourages communities to develop complete streets policies. This is because complete streets policies for urban environments will differ from those in rural environments, and it is important to consider local context.

Additionally, as a Township, Holly does not have control over street improvements or maintenance—both are under the jurisdiction of Oakland County. As such, Holly Township's complete streets policy reflects the needs of the Township and serves as guidelines for Oakland County as the two work together to improve transportation in the Township.



Source: *Small Town and Rural Design Guide, 2023.*

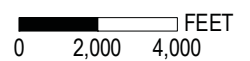


July 21, 2016

# Map 13: Master Rights-of-Way

Holly Township, Oakland County, Michigan

- 120 Foot Right-of-Way
- 86 Foot Right-of-Way



**McKENNA**  
ASSOCIATES

Base Map Source: Oakland County GIS, 2014  
and Michigan Geographic Framework Version 14a.  
Data Source: Carlisle/Wortman Associates, Inc. 2004

# Greenways Plan

Greenways are linear networks of open space. These conservation corridors connect communities' natural and cultural resources. Greenways may follow natural features, such as waterways and ridges, or built features, such as abandoned railroads, utility lines, and scenic roads. They can link homes to workplaces, schools, shops, and recreation areas. They conserve green space, protect natural resources, provide recreational opportunities, allow alternative modes of transportation, and allow for visual access of natural areas.

## PURPOSE OF THE GREENWAYS PLAN

Greenways serve an important environmental and aesthetic purpose. With increased development and urbanization, the Township's landscape could become progressively more fragmented. With growth unchecked, large tracts of open space would be significantly reduced, as would connections between them. The repercussions of fragmentation would be two fold: 1) humans would not have visual access to large tracts of land, often referred to as viewsheds, and 2) size of wildlife habitats would be significantly reduced, resulting in less diversity, an important component of environmental health.

The Greenways Plan is designed to prevent this visual and habitat fragmentation within the landscape by encouraging connections between distinct tracts of open space so as to form a network. Greenways as conservation corridors of open space maximize the amount of diversity in a habitat, and allow for a design whose visual quality is optimized.

The Greenways Plan presented on the following page identifies the Township's important natural and cultural resources. These features include the following:

- » Waterway/wetland corridors and other natural resources
- » Parks and other preserved areas
- » Priority Trail Routes
- » Potential/Proposed Greenways

By identifying these features, the plan illustrates the existing and potential networks of open space throughout the Township. In this way the Greenways Plan communicates how design, development, land use, and acquisition can be directed in a way that encourages those links.

## OPPORTUNITIES FOR LINKAGE: CENTRAL COMPONENTS OF THE GREENWAYS PLAN

The Greenways Plan is composed of several separate components that work together to form the greenway network. Each component requires distinct management techniques in order to optimize their respective contribution to the overall plan. Below is a more detailed description of each component and the specific management techniques that can be used to build a system of visual and habitat open space.

### TOWNSHIP OWNED PROPERTY

**Holly Heritage Farmstead.** Located on North Holly Road, north of Elliott Road, this 15-acre parcel has the Swartz Creek running along the back half of the property. A one mile walking nature trail could be developed on this property.

**Boundary Meadows.** Boundary Meadows consists of three parcels that total 49 acres. The property borders the Village of Holly on the east, and Rose Township to the South. This property is accessed by Fish Lake Road and can connect to both existing and future trails and pathways. While the long term plan for this property may not include recreation use, the Township has the ability to build trails on the site or require any future development to require trails be installed.

## WATER/WETLAND CORRIDORS

The Greenways Plan illustrates the major waterway/wetland corridors that run through the Township. The waterway/wetland corridors are based largely on a natural areas survey completed by the Nature Conservancy. Large tracts of undeveloped land, relatively intact riparian corridors, and woodlands still exist in many of these areas. Given these characteristics, special consideration for the preservation of open space and natural habitat through fee simple purchase and/or conservation easements are particularly important in the management of the waterway/wetland corridors. Below is a description of each of these major waterway/wetland systems.

**Bush Lake.** The Bush Lake system consists mostly of Bush Lake, a large lake in the center of the system, and a surrounding collection of mid-size and smaller lakes and ponds and wetlands. A large portion of the area to the east of Bush Lake is built-out; however, there are still areas of open space remaining on the west side of the lake and farther away from the lake to the east. Holly Township Beach Park and Lakeside Park are located at the southwest corner of Bush Lake, and a Priority Trail Route is indicated along the southern portion of the system.

**Lake Copneconic.** Located in the northwest corner of the Township, this area includes Lake Copneconic, the YMCA camp, smaller surrounding lakes, and their associated wetlands. The system is small compared to other Township complexes, though it does have a mix of large undeveloped land and smaller developed parcels.

**Holly State Recreation.** Located along most of the eastern boundary of the Township, this system includes a large number of mid-sized and smaller sized lakes, Swartz Creek, and related wetlands that border each. The wetland corridor that runs along Swartz Creek and the wetland area adjacent to such lakes as Gravel Lake, Strawberry Lake, Holridge Lake and Horton Lake, are some of the largest expanses of continuing wetlands within the Township. Of great importance is the fact that a substantial portion of the land within the system is owned by the state. The Holly State Recreation area includes 7,817 acres, and provides such features as camping, hiking and cross-country ski trails. The central area and southern portions of this system, including land bordering on Spring Lake and Little Crotched Lake, has been developed. Acquisition or conservation easement protection of the open space of the few remaining large tracts of land, and/or new development designed to protect the remaining natural features (i.e. cluster layouts) must be considered.

**Kennedy/Slack/Mitchell Lakes.** Located along the north boundary of the Township, the main features of the system are Kennedy, Slack and Mitchell Lakes and their associated wetlands. The wetlands make up a substantial amount of the land within this area, greater in size than the lakes themselves. Most developable land within this area is comprised of large vacant tracts. The potential for pedestrian connection via the Consumers Power utility easement that runs along the system's west border is a consideration for the future.



Holly State Recreation Area

**Seven Lakes.** Located in the west central area of the Township, this system consists of small and large lakes and related wetlands. The majority of these lakes are within the 1,444 acre Seven Lakes State Park, which serves to protect these valuable natural resources. Seven Lakes also provides recreational facilities such as campsites, bike paths and nature trails, and is an important facility to be connected for pedestrian usage.

**Shiawassee River.** The Shiawassee River waterway/wetland complex is located along the southern portion and boundary of the Township. It is composed of large tracts of undeveloped land and the significant riparian corridor of the Shiawassee River. Acquisition of open space either through direct purchase or conservation easement could protect these large tracts of undeveloped land. New development in this area designed in a cluster layout which minimizes impervious surfaces, protects natural features, and remains out of the floodplain, will protect the integrity of the area. The existing railroad right-of-way and utility easement running through the corridor serve as great potential pedestrian routes, providing direct access to areas directly adjacent to the riparian features of this waterway/wetland system. Four parks are also located in the system, including Holly Township Sorenson Park, Cyclone Park, Crapo Park and Waterworks Park.

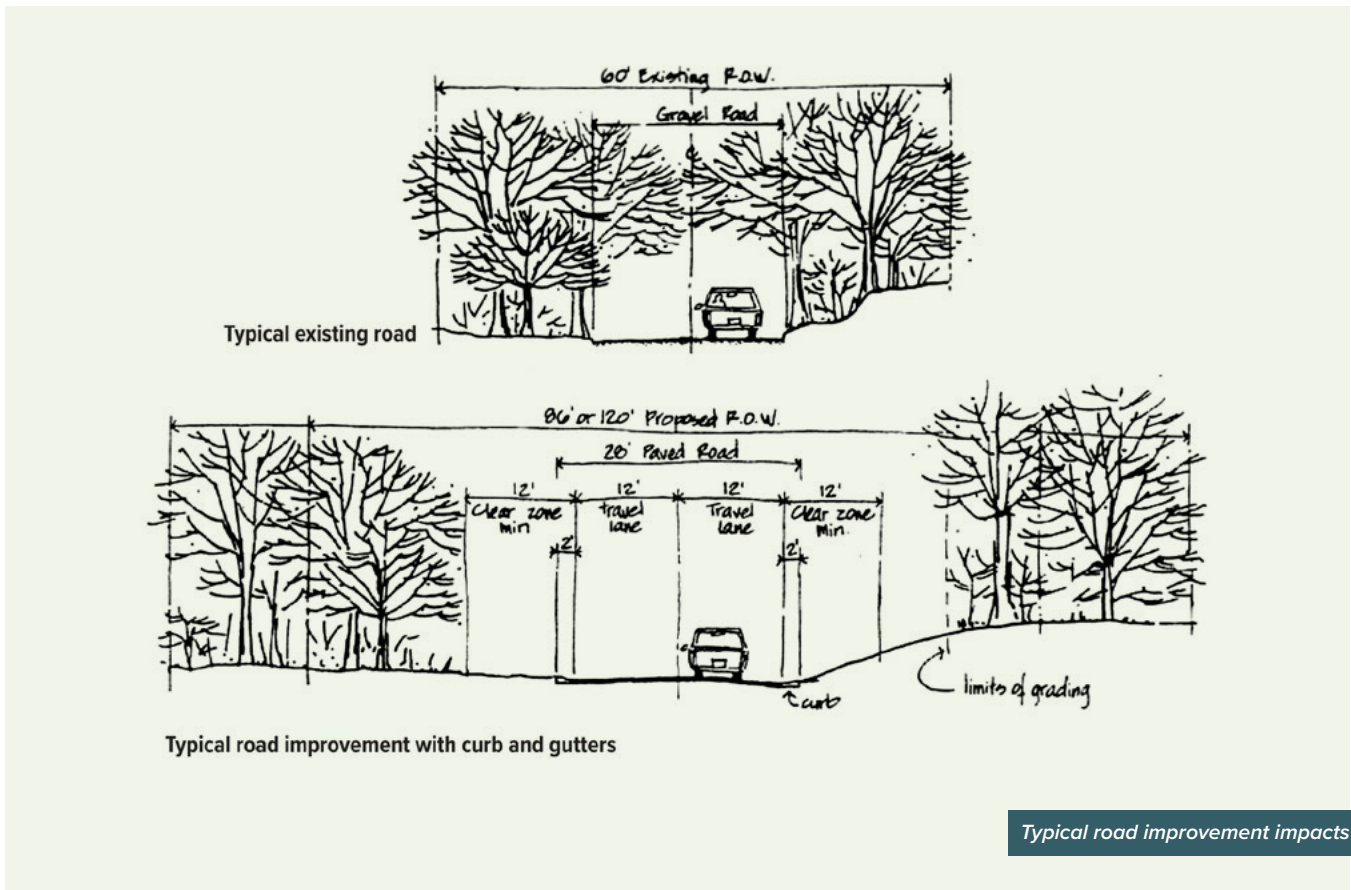
**Swartz Creek.** The Swartz Creek waterway/wetland complex runs along most of the north central area of the Township, beginning at the west border of the Holly State Recreation system. It is composed of both large tracts of undeveloped land and smaller parcels of developed land. Swartz Creek runs through the center of this system, creating a large wetland corridor from east to west. A number of lakes are also found within this system near the west boundary of the Township. Protection of the waterway/wetland complex in all future development, particularly by conservation easement, is vital to the health of Swartz Creek and its associated natural features.



Shiawassee River



Seven Lakes State Park



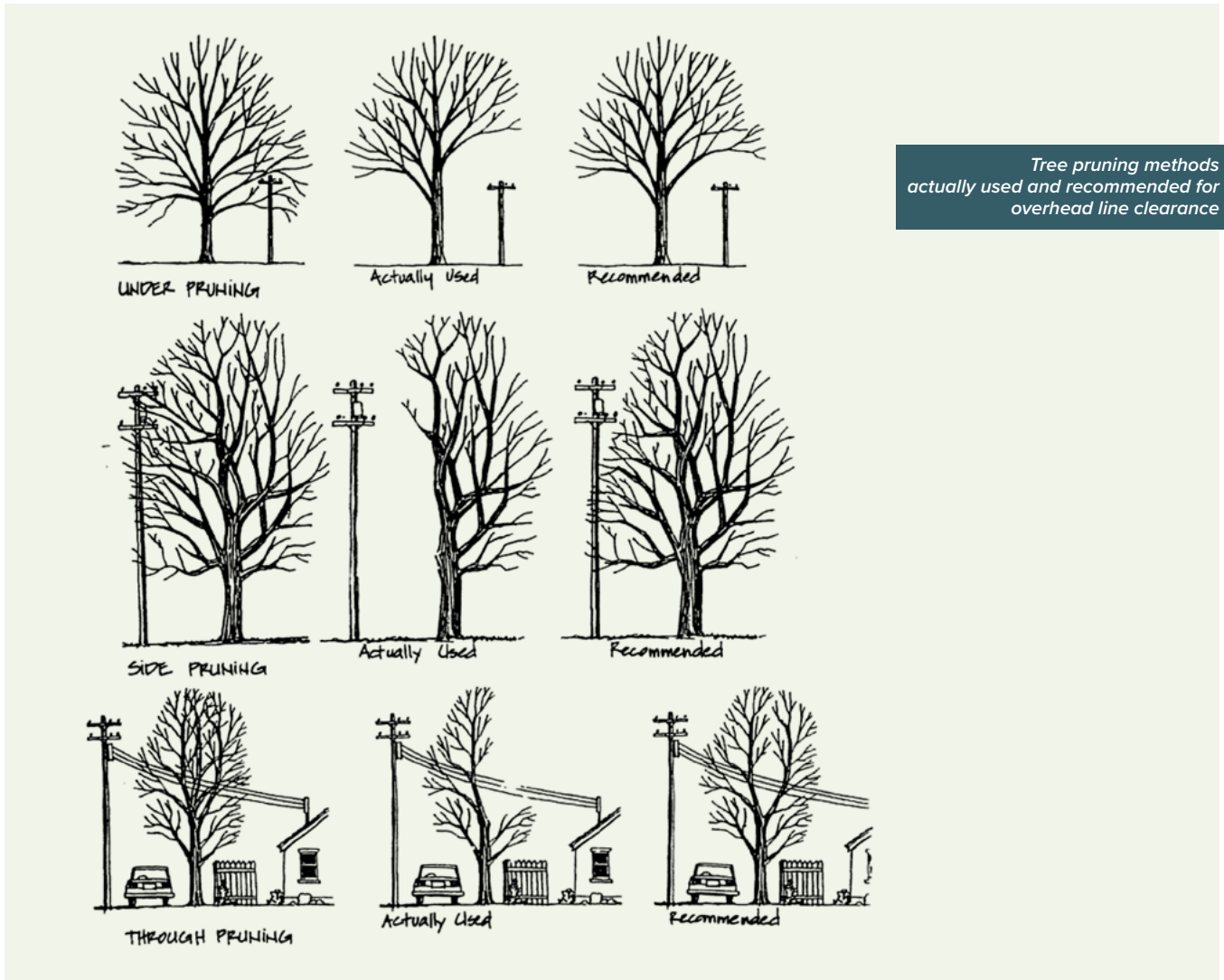
## ROADS WITH RURAL CHARACTER

Roads with rural character defined by mature street tree canopies are important aspects of the Greenways Plan both for visual and habitat reasons. The buffer at the side of the road provides limited shelter and habitat connection for wildlife. Additionally, these tree-canopied transportation corridors offer visual access to natural, seemingly expansive areas of open space.

The Road Commission for Oakland County has jurisdiction over all local and primary roads within the Township, and almost all tree-canopied streets come under this category. The Road Commission's design policies do not protect these roads with rural character. The image above shows typical existing roads, and how improvements made by the Road Commission significantly alter their character.

Additionally, utility companies have the right to maintain their lines, and again their design policies do not protect street tree-canopies. While the Township has no control over the Road Commission's and utility companies' actions, the following policies can address this issue:

1. Encourage private internal roads within new developments which retain a rural character by utilizing a planted buffer immediately adjacent to the paved road.
2. Limit the number of individual access drives, the number of frontage splits, and encourage clustered development with shared drives so that the continuity of the tree canopy is maintained.
3. Encourage pruning of trees to accommodate utilities in such a way as to maintain tree shape and integrity. The graphic on the following page depicts existing and recommended pruning.

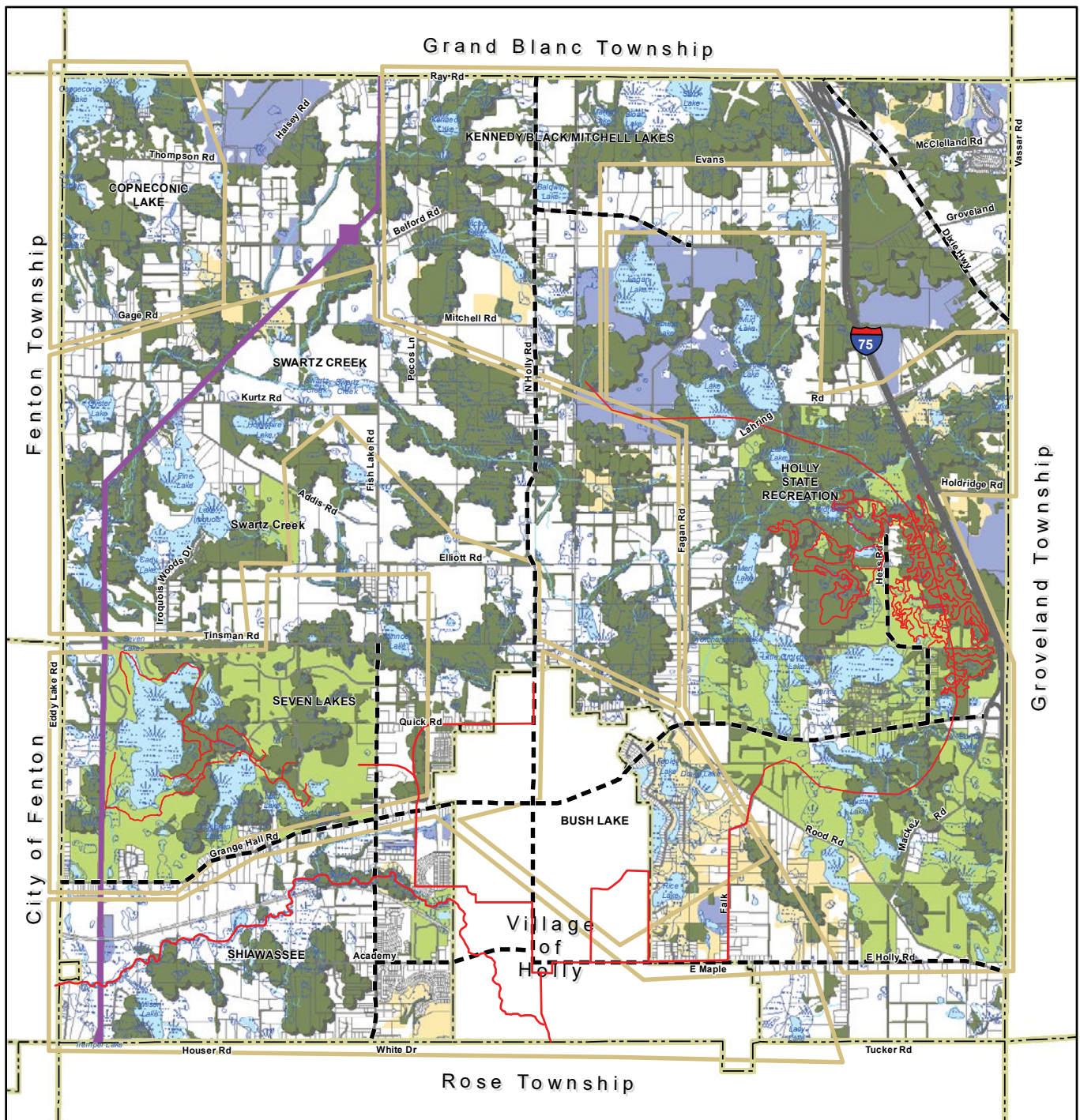


## COORDINATION OF OPEN SPACE AMONG DEVELOPMENTS

New development in the Township deserves special attention in the Greenways Plan. Holly Township has provisions in its Zoning Ordinance to permit cluster developments. Clustering can be a very useful tool in the preservation of open space at the site specific level. The proposed Riverside development directly west of the Village will be the first project to employ the cluster option, with the project including open space and natural features preservation benefits in line with the goals of the cluster option.

However, it is more beneficial for a cluster development to not work on its own. To create a network of open space, coordination must be made among clustered developments. In the future, the design of new developments should be coordinated with the preserved open space design of other developments in order to create larger and better configured areas. Though the same amount of open space may be preserved, developments with coordinated open space design produce a less fragmented landscape, thereby offering a more connected wildlife habitat and providing visual access to larger areas of open space.












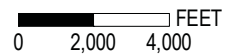


July 21, 2016

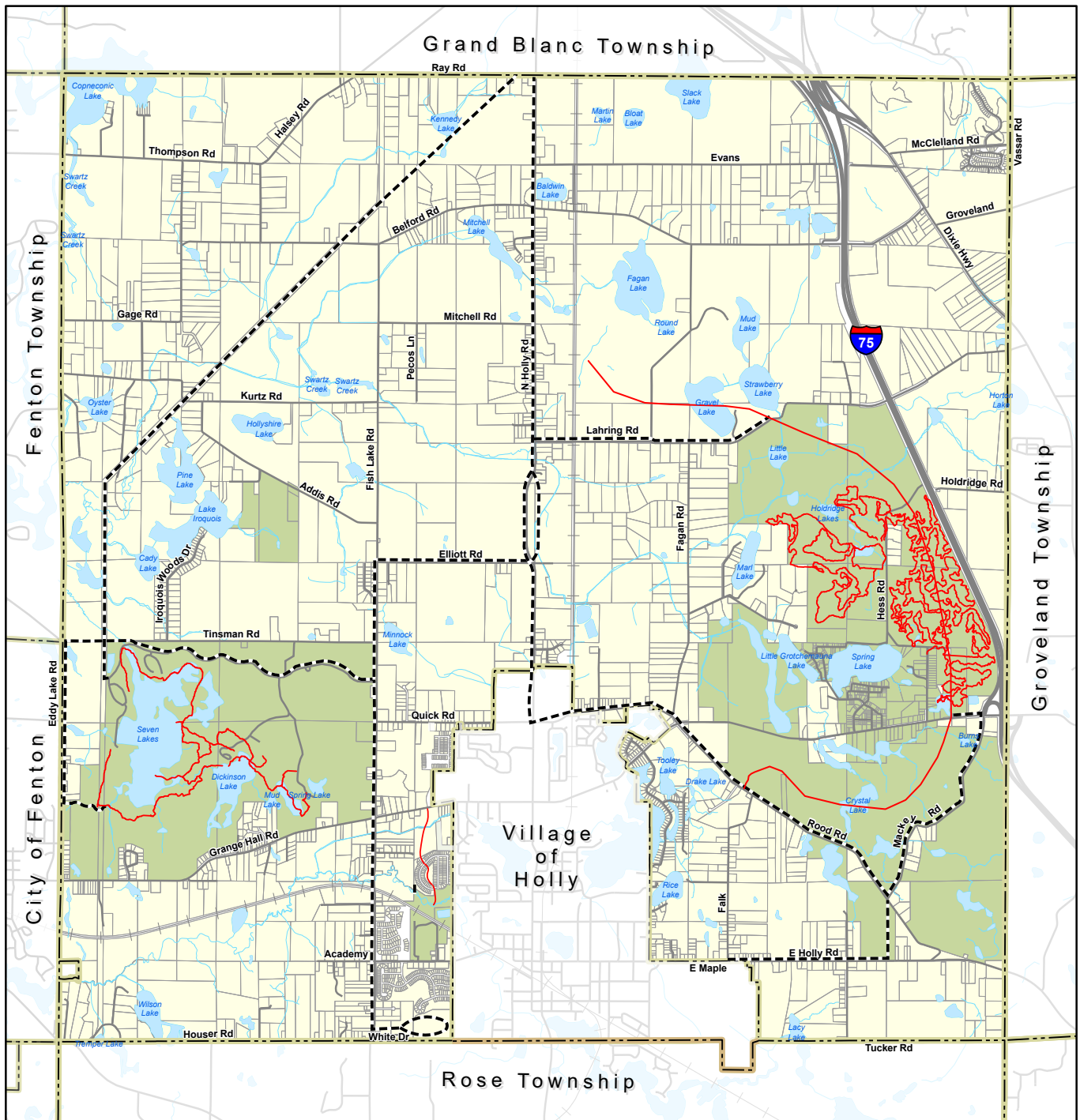
# Map 14: Greenways Plan

Holly Township, Oakland County, Michigan

- |   |   |
|---|---|
|  Woodlands and Tree Rows       |  Water Bodies            |
|  Private and Public Open Space |  Priority Safety Path    |
|  Other                         |  Trail and Pathways      |
|  Wetlands                      |  Utility Corridor        |
|   |  Water/ Wetland Corridor |



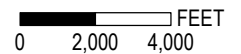
Base Map Source: Oakland County GIS, 2014 and Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012



January 8, 2024

## Map 15: Trails and Pathways

Holly Township, Oakland County, Michigan



- Private and Public Open Space
- Water Bodies
- Trail and Pathways
- Future Trails and Pathways

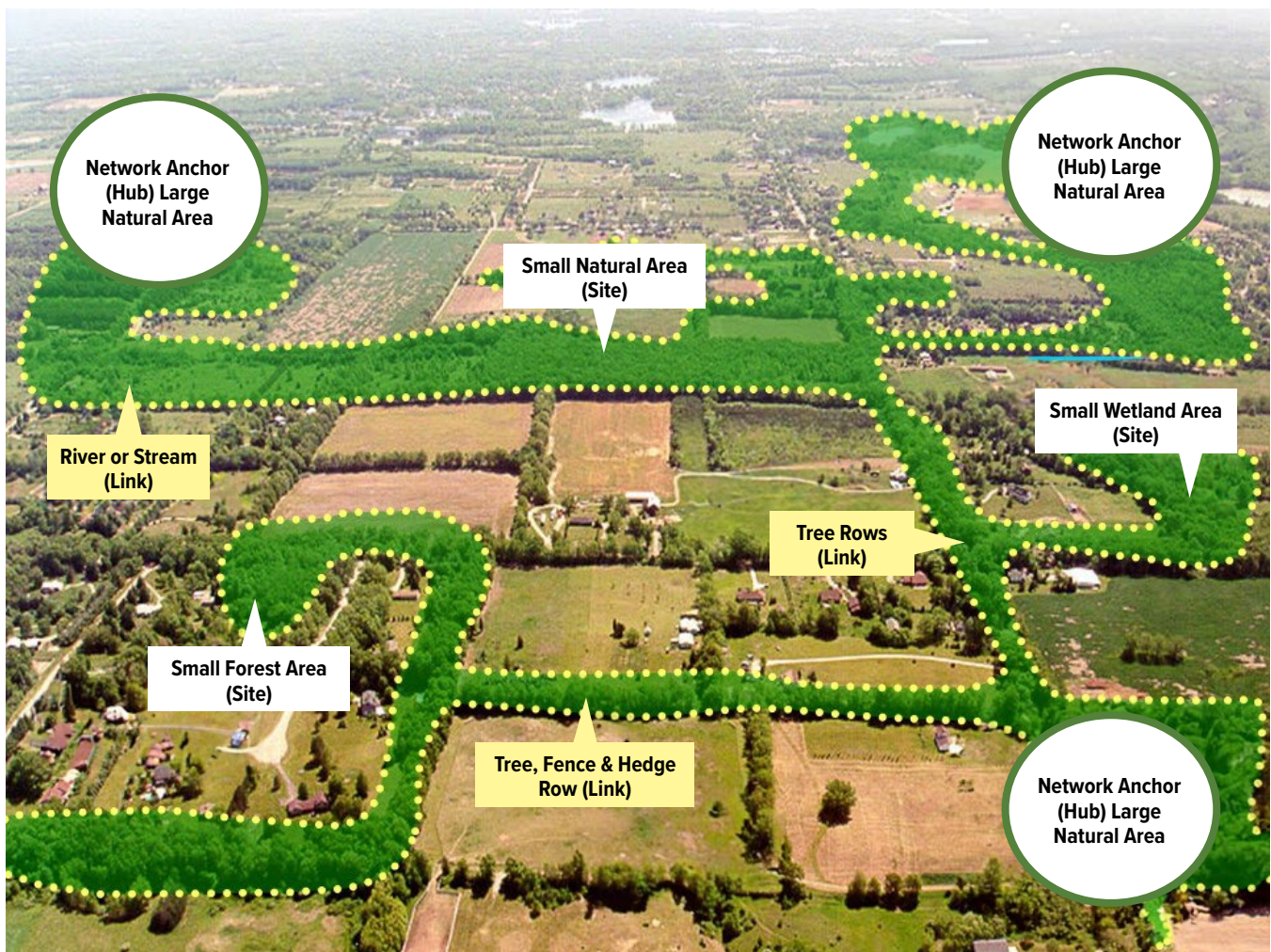


Base Map Source: Oakland County GIS, 2014 and Michigan Center for Geographic Information, Version 14a. Data Base: Oakland County Data, 2012

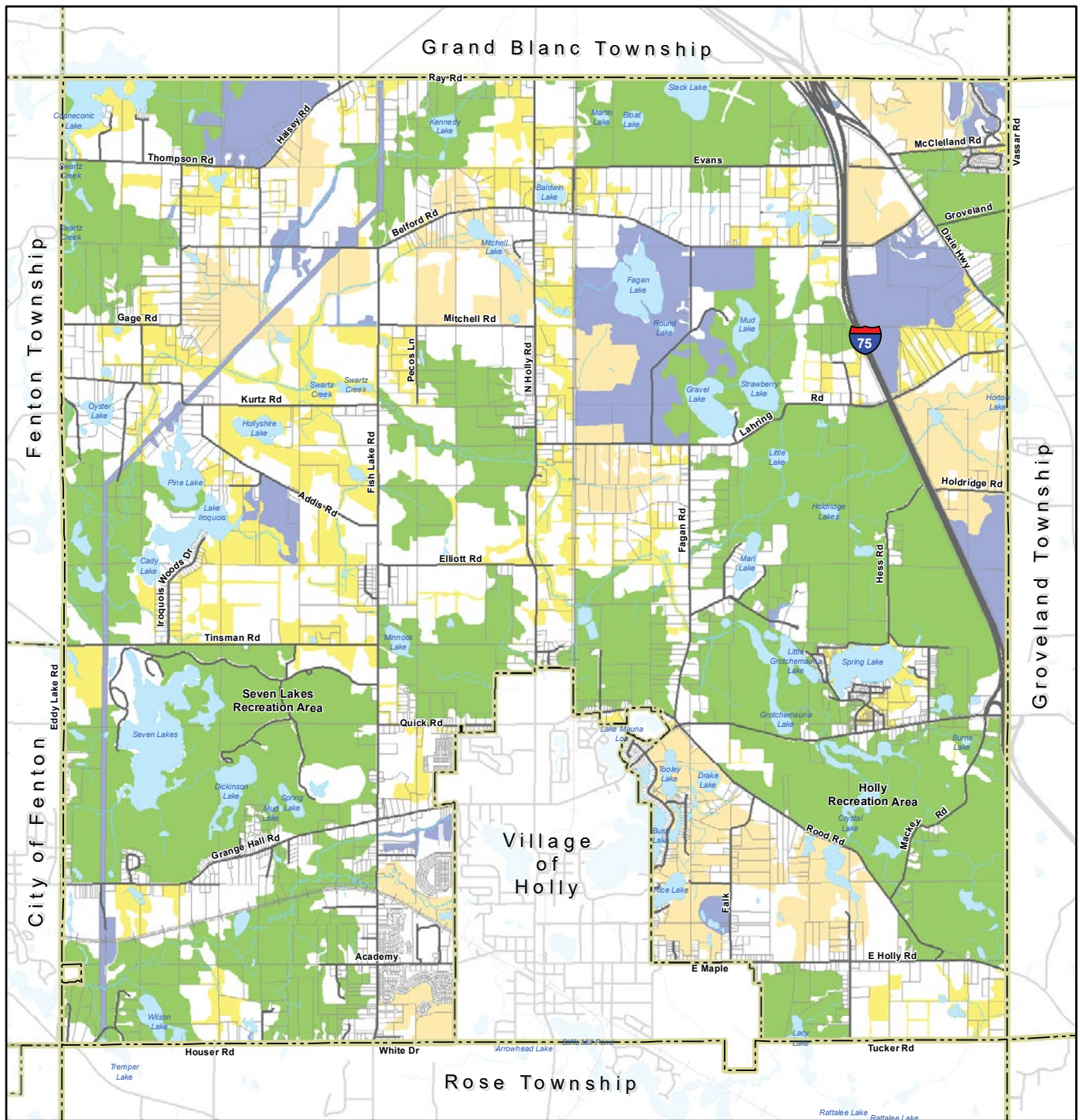
## GREEN INFRASTRUCTURE

In 2008, Oakland County Planning and Economic Development Services conducted a visioning workshop with Holly Township in order to determine the Township's green infrastructure. Green infrastructure is an interconnected network of open spaces, natural areas and waterways. The focus is on conservation values and the services provided by natural systems in concert with, not in opposition to, land development. A green infrastructure network supports native species, sustains natural ecological processes, maintains air and water resources, and contributes to our health and quality of life. Conserving green infrastructure can produce economic dividends for communities, businesses and residents, as well as providing a framework for sustainable development. Map 16 is a culmination of the visioning session held at the Township. The areas are broken up into four distinct classifications. They are as follows:

- » **Hubs.** Hubs anchor the network and provide an origin or destination for wildlife. Hubs range in size from large conservation areas to smaller parks and preserves. Hubs provide habitat for native wildlife and help maintain natural ecological processes.
- » **Sites.** Sites are smaller ecological landscape features that can serve as a point of origin or destination or incorporate less extensive ecologically important areas.
- » **Links.** Links are the connections that hold the network together and enable it to function. They facilitate movement from one hub to another.
- » **Other.** Areas not classified as hubs, sites or linkages, but will still some importance to the network.



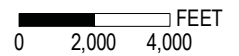
Source: Oakland County Planning & Economic Services



July 21, 2016

# Map 16: Green Infrastructure

Holly Township, Oakland County, Michigan



- Hub
- Link
- Other
- Site



Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a.  
Data Base: Oakland County Data, 2012

## SAFETY PATH MASTER PLAN

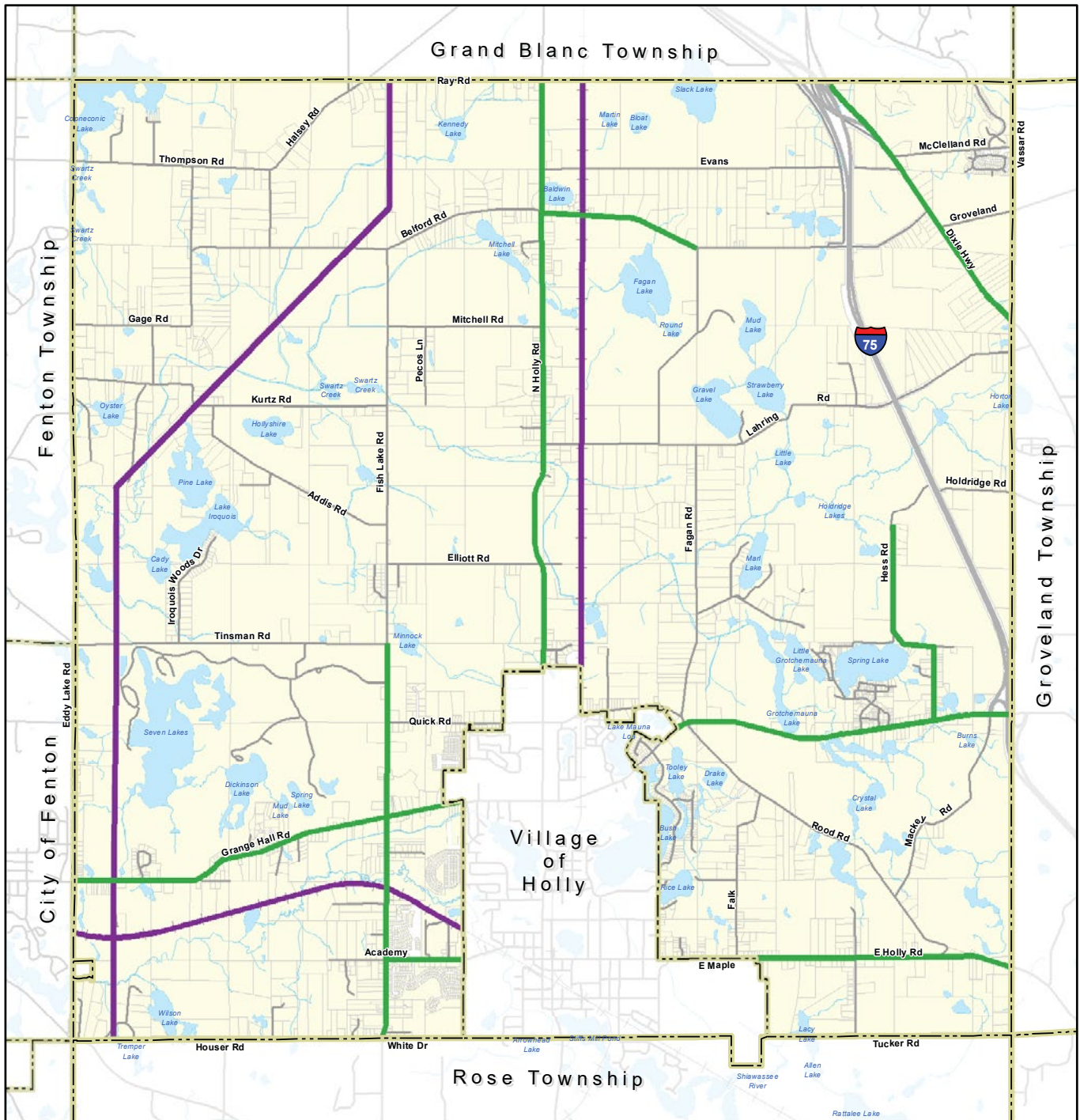
A Safety Path System could be an integral component of the recreational and alternative modes of transportation linkage aspects of the Greenways Plan. Safety paths provide for a path system for pedestrians and bicyclists that are completely separate from the street system. Safety paths in other communities have become invaluable, serving to connect residential areas with schools, shopping areas, and other public facilities. Safety paths also serve as a valuable resource for passive family recreation.

Because of their value, the Township has passed an Ordinance requiring the construction of safety paths in new developments. A Safety Path Master Plan designates priority safety path routes in appropriate areas of the Township. The final goal of the Safety Path Master Plan would be to create a complete, street-based pedestrian network throughout the Township on paved thoroughfares.

Trail planning and development is another method of providing and encouraging effective greenways. Trails can be developed in many types of ways; as part of new developments, along roadways, utility and railroad corridors, etc. Trail planning for the Holly Community, the region and county, has occurred. Many groups have been involved, including Oakland County Planning and Economic Development, Headwaters Trails, etc. A description of some of the opportunities that exist in Holly is followed by a discussion of the Headwaters Trails and the Headwaters Trails District Concept Plan.

The Consumers Power utility easement, which runs north to south in the west portion of the Township, is an existing, uninterrupted corridor of open space which crosses the length of the Township and traverses four of the waterway/wetland corridors.

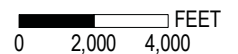
In addition, the CN Railroad right-of-way, which runs east to west in the southern portion of the Township, and the Chesapeake and Ohio Railway right-of-way which runs north to south in the central area of the Township, are current or future potential pedestrian corridors.



July 21, 2016

# Map 17: Safety Path Master Plan

Holly Township, Oakland County, Michigan



- Surrounding Municipalities
- Future Safety Paths
- Priority Safety Path
- Water Bodies



Base Map Source: Oakland County GIS, 2014 and Michigan Geographic Framework, Michigan Center for Geographic Information, Version 14a.  
Data Base: Oakland County Data, 2012

# Headwaters Trails

The Greenways map indicates the most current of proposed trail locations according to the Headwaters Trails District Concept Plan. This plan is included with the Shiawassee Trails Phase 1 document that was prepared by the Headwaters Trails, Inc. Headwaters Trails is a not-for-profit organization which has worked with local communities and other governmental organizations to plan and create a trail network within Northwest Oakland County (Groveland, Holly, Rose and Springfield Township and the Village of Holly).

The Shiawassee Trails Phase I plan provides a network plan for four trail systems with a common trailhead in Waterworks Park in the Village of Holly. The plan indicates that Phase II will complete the trail connections created in Phase I to the south, east and north. The four trails proposed are as follows:

## TRAIL 1: RIVER TRAIL

A canoe/kayak trail starting in Waterworks Park and ending at Fenton Mill Pond. The trail will consist of seven river miles, and will include improvements to Waterworks Park (a new canoe launch platform, restrooms and a bridge), a second canoe/kayak platform on land west of Fish Lake Road in Holly Township (currently being purchased from North Oakland Headwaters Land Conservancy), and linkage to the existing launch at Strom Park on the Fenton Mill Pond. It is hoped that the canoe race between Holly and Fenton that occurred for 40 years up until 1996 will be reestablished. Other improvements, including a river clean-out, and coordination with the Shiawassee River Task Force, will continue to occur.

## TRAIL 2: VILLAGE-TOWNSHIP CONNECTOR

A nearly two mile connector pathway between Waterworks Park and Sorenson Park, with a spur to Lakeside Park. The proposed Class III Bikeway will follow existing roads and sidewalks, connecting six parks and recreation areas, the downtown and residential areas, the depot restoration site, two schools, and with a possible connection to Holly State Recreation Area.

## TRAIL 3: SEVEN LAKES CONNECTOR

This new trail reflects work with developers of the Riverside project in this location to include a trail as part of the new development. The approximately 2.6 mile connector will be effective in connecting Seven Lakes State Park to the new development, as well as to the Village and its downtown. The trail will also provide connection for residents of the new neighborhoods and existing neighborhoods within the Village to the two schools adjacent to the site. The connector will also transverse through the Village and connect to Waterworks Park.

## TRAIL 4: ROSE OAKS CONNECTOR

A 3-mile connector from the Village of Holly to Rose Oaks County Park, the trail would be a vital asset in establishing connectors west into Genesee/Livingston County, east to Springfield Oaks, and south toward Milford. The trailhead property is owned by the Holly Area Schools District and was a former school camp and football training facility under the name Camp Has-O-Rec. The site has a number of potential uses, and arrangements with the School District are currently being made. The proposed trail route parallels the LSRC railroad and follows a beautiful natural stream. A portion of the trail will also run along Milford Road, and will be similar to a Class II bikeway.

Trail construction according to Oakland County/Headwaters Trail plans will eventually link the Holly community with, and provide linkage between, Seven Lakes State Park, Holly State Recreation Area, Rose Oaks and Groveland Oaks County Parks, and other communities, parks and points in between.

By utilizing these corridors, recreational opportunities for Greenways can be expanded, and pedestrian linkage among several of the water/wetland corridors can be established.

## CONCLUSION

The Greenways Plan can be an important tool for developers, Planning Commissioners, designers, and all others involved with land use planning to guide development in such a way that visual and environmental fragmentation is reduced, and land is used most efficiently and effectively. Greenway planning can ensure that land is used in a way that benefits nature, active and passive users, and the overall character of the community.

# Implementation Plan

This chapter of the Plan presents tools and techniques that citizens, community leaders, and Township staff can use to implement the land use plan. These implementation measures are only effective if there are people in the community with vision and tenacity who are willing to invest the time, dedication, and effort required to make them work. Community improvement requires a compelling vision; persistence; the flexibility to respond to changing needs and conditions, opportunities, and circumstances; and the ability to achieve a consensus for the betterment of Holly Township. The tools and techniques identified in this chapter are capable of being implemented under current enabling legislation. Inasmuch as adoption of any such new legislation is uncertain, this chapter focuses on the tools that are available under current law and widely recognized best practices.

## PUBLIC INFORMATION AND EDUCATION

The success of the Master Plan depends to a great extent on efforts to inform and educate citizens about the Plan and the need for regulatory measures to implement the Plan. Successful implementation requires the support and active participation of residents, property owners, business owners, and all other vested interests. A thoughtfully prepared public education program is imperative in creating a sense of ownership for Township residents.

Education accomplished by holding a series of hearings entirely dedicated to the Master Plan before the Planning Commission will enable the public to review and comment on the plan. A joint workshop should be conducted by the Township Board and Planning Commission to discuss the implementation of this plan. Public input at this point should be focused on implementation, not revising the content. The hearing at which the adoption is scheduled should be well publicized to promote as much attendance as possible. Upon adoption of this plan, a second joint workshop should be conducted to update the residents as to the direction the Township will take towards its future. Substantial advertisement is essential to draw residents to the meetings. The Township must, to the best of its ability, keep its residents updated on progress of the plan. For any plan to be successful, all vested interests in Holly Township must be involved in the implementation of this plan for it to be successful.

## CONDENSED BROCHURE

The Township can produce a reader-friendly and abridged version of the Plan so that a larger segment of the population can take a small amount of time to understand the Future Land Use Map, our Goals and Objectives, and finally the Implementation Plan for Holly Township. These brochures could be distributed to individuals at Township events and buildings, published on the website, and even mailed to residents and businesses in Holly Township.

## DESIGN STANDARDS MANUAL

One component in the Township's information/education program should be to include the new Design Standards in distribution and outreach initiatives. These standards should be given to all developers and property owners who are or will in the future propose a residential, commercial or office building development. These standards describe the type of responsible and high-quality rural character development desired in the Township. The benefit of a design standard manual is that it can be used to clearly communicate the development expectations that Holly Township holds for its community, and define concepts and ideas that are not typically appropriate for the zoning ordinance. Design guidelines in such a manual include architecture, building orientation, parking and circulation, landscaping, utilities, lighting, signs, and access management.

## MAINTAINING THE PLAN

Another way for the general public to stay informed about the Master Plan is to keep the Planning Commission and Township Board actively involved in maintaining it. The Plan should be an active document and continually reviewed and updated. An annual, joint meeting between the Commission and Board should be held to review the Plan and any amendments that may have become necessary. This will help ensure that the Plan is not forgotten, and that its strategies and recommendations are implemented. Then, every five years, or earlier if the Commission feels appropriate, another full-scale Master Planning effort should be undertaken. These steps will not only help keep the public aware of the Plan, but they will also make certain the plan does more than "sit on a shelf and collect dust."



## LAND USE CONTROLS

### ZONING REGULATIONS

Zoning is the primary regulatory tool used by the Township to implement the Master Plan. Zoning regulations and procedures should be created, or amended where appropriate, to reflect the goals and objectives identified in this plan.

### CONVENTIONAL ZONING PROCEDURES

#### REZONING TO IMPLEMENT THE MASTER PLAN

The land use classifications on the Future Land Use Map provide the basis for evaluating future rezoning requests. Inasmuch, zoning actions that are consistent with the Future Land Use Map shall receive deferential and favorable judicial review if challenged. The Master Plan should be the principal source of information in the investigation of all rezoning requests. The Township is encouraged to initiate rezoning's necessary to place land in conformance with the Future Land Use Map, or they may wait for property owners to come forward and challenge the existing zoning designations for their properties.

#### PLANNED DEVELOPMENT

Planned development involves the use of special zoning requirements and review procedures that provide design and regulatory flexibility, so as to encourage innovation in land use planning and design. Planned developments should achieve a higher quality of development than might otherwise be possible. Continued use of planned development is recommended to achieve the goals and objectives of this Plan.

### PERFORMANCE STANDARDS

Rather than simply regulate development on the basis of dimensional standards, many communities are establishing performance standards to regulate development based on the permissible effects and impacts of a proposed use. Performance standards were created to supplement conventional zoning standards and add another level of land use compatibility measurements. Performance standards can regulate noise, dust, vibration, odor, glare and heat, safety hazards, and environmental impacts such as air and water pollution. Performance standards can be particularly useful in achieving environmental and resource protection goals, especially in a resource rich community like Holly Township. If based on a strong body of research, standards can be developed that relate to critical environmental areas (such as floodplains, wetlands, lakes, woodlands, groundwater recharge areas, and unique wildlife habitats), and natural resource areas (such as forest lands).

### SETBACK AND OTHER STANDARDS

It is important to review the required setbacks and other dimensional standards to be certain that they promote the desired type of development, and respect the historical setbacks and architectural scale of the community.

**INNOVATIVE PLANNING TECHNIQUES**

**TRANSFER OF DEVELOPMENT RIGHTS**

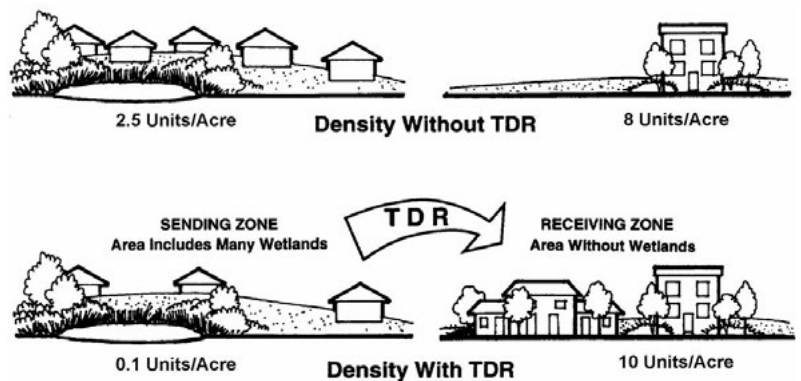
Transfer of development rights (TDR) is a “smart growth” market based tool used to manage land development and resource conservation. TDR is a voluntary transfer of development rights from areas with low population needs (sending zones) to areas of high population needs (receiving zones). The sending zones can be environmentally-sensitive properties, open space, agricultural land, wildlife habitat, historic landmarks or any other places that are important to a community. The receiving zones are areas that are appropriate for an increase in density and development. These receiving areas can accommodate the demand for schools, shopping, transportation, and other common urban services. Holly Township will implement this program in order to conserve resource rich lands and focus development in pre-defined areas where higher-density development is most suitable. The sending and receiving zone boundaries can be seen in the Future Land Use map. Property owners and related interests will be notified once the program is underway.

**Ownership Rights.** The ownership of land includes rights pertaining to minerals, timber, agriculture, riparian rights, surface and ground water, air, and development. Use of these rights is not absolute. Governmental entities have the right to constrain a property owner's use of these rights and thus the economic value that the property owner can derive from the property. The most commonly used restraint has been the exercise of an individual's use of development rights through zoning.

**Development Rights.** TDRs provide financial compensation to property owners for the sale of their development rights, while the Township imposes land-use regulations guiding the use of development rights to targeted development zones. This approach involves selling the right to develop a given parcel that the public wishes to preserve and transferring those rights to another site where density is appropriate and desirable. The separation of the development rights from property allows the rights to be shifted from one area to another, ultimately giving it economic value. The transfer of development rights requires certainty of where development is desired and where it is not. TDR programs do more than preserve farmland, natural resources, and open space; they change the way development occurs in a community.

**Buying Development Rights.** A TDR is done in a controlled setting where specified areas are predetermined to be "sending" or "receiving" zones. Private developers and local governments are allowed to purchase the development rights from within the sending zones and transfer them to an area that is to be developed, the "receiving" zone. The TDR gives property owners and interested buyers a mutually beneficial marketplace established for the free exchange (buying and selling) of development rights without having to buy or sell the physical land. This preserves the use rights for sending zone properties while allowing the owner to receive just compensation for their development rights. The down zoning (example - decreasing the density level from one dwelling unit per five acres to one dwelling unit per 40 acres) that a government entity imposes on a sending zone does not reduce the economic value of the property within that zone, that is because the development rights remain in the landowners' hands and can be used or sold to others in the receiving zone. By transferring their TDRs, the development potential of the owner's property is essentially frozen. By reducing the negative economic impact of protectively zoning property and enabling the owner to recoup their land's economic value, the TDR minimizes the objections to such practice.

**Basic Function of a TDR Program.** The TDR program allows the landowner to sell the development rights to a developer who then uses the development rights to increase the density of houses, or other form of land use development, on another piece of property located in the receiving zone. For example, a developer purchases development rights in the sending zone and applies them to his property which is located in the receiving zone. His property was previously regulated at 1 acre per dwelling unit, after purchasing and applying the development rights he is now able to upgrade the density level to 1/2 acre per dwelling unit. The higher density that is achieved by the transfer of development rights is the developer's incentive.



## NATURAL FEATURE PRESERVATION

Holly Township contains some of the most scenic roads in Southeast Michigan and are integral in preserving the rural character of the Township. There are many tree-lined drives, beautifully winding roads through wooded hills and around lakes, tree-canopied neighborhood streets, and outstanding or unusual natural beauty by virtue of native vegetation and natural features. The objective of having natural preservation incorporated into design elements is to protect existing and proposed open vistas, large tree stands, hedgerows, wetlands and historic buildings such as farm houses, barns and silos that define the character of the Township. The natural features and rural character found on our thoroughfares are some of the most valuable and irreplaceable assets of Holly Township.

Since development often disregards indigenous features of a community, often replaced with a landscape that merely duplicates the cultured landscape found throughout the Midwestern United States, the end result may be the loss of character in many of our most visible rural corridors in the Township. The design plan will protect the Township through its three primary design components: 1) unifying elements 2) rural design elements, and 3) community design elements. These design elements should be used for all roadways throughout the Township unless otherwise specified.

## UNIFYING ELEMENTS

The following unifying elements should be a part of every development along the Holly Township's roadways:

- » Existing natural features, such as wetlands, woodlands, landmark trees, and scenic vistas, should be preserved and incorporated into development or redevelopment.
- » To screen uses from the roadway, undulating landforms and a combination of trees, shrubs, and perennials should be used instead of rigid berms and rows of evergreen trees.
- » Where feasible, required bicycle paths should meander and undulate through the landscape and not proceed in a straight line parallel to the road. Lower level bike path lighting could be allowed.
- » Building setbacks and landscape buffers should be designed as naturalized green spaces, incorporating sustainable storm water management features and creative use of vegetation.
- » Consistent street lighting fixtures should be used throughout Township roadways to provide design continuity.
- » Coordinated street signage is strongly encouraged and should be used throughout like corridors.
- » At least 60% of proposed landscape should come from the Zoning Ordinance's preferred plant list. These materials have been selected because they are non-invasive and are hardy in both rural and suburban settings, inspire rural images and vistas, maintain a healthy condition in a street side environment and provide visual interest to highlight the rural indigenous character of the Township.



### RURAL DESIGN ELEMENTS

Development or redevelopment in rural areas of Holly Township must encompass the following rural design elements.

- » Large masses of native or naturalized perennials and grasses should be utilized in the landscape area along roadways. Plantings should be informal, have a natural appearance and require minimal maintenance.
- » Irrigation should be used only where needed, only due to the type of plants used.
- » Open areas, including those in or near the right-of-way, should be left in a natural state rather than converted to lawn.
- » Trees should be clustered and planted at random intervals, and be left in naturalized beds with naturalized undergrowth whenever possible.
- » Native vegetation should be maintained along gravel road shoulders and through native cut areas like wetlands.
- » Land forms should be smooth, natural, undulating forms with the bike path meandering over, down, around and through the land forms.
- » To screen development from roadways, existing hedgerows should be used, new hedgerows created, or ornamental trees planted in a style to mimic orchards. A three-rail horse fence could be used to add visually interesting and unifying elements.
- » Shielded street lighting should be limited to intersections only.

### COMMUNITY DESIGN ELEMENTS

In the more heavily developed areas of Holly Township, all developments or redevelopment should contain the following design elements.

- » Formal landscaped design may be used.
- » Use of edging to define and separate planting beds from turf.
- » Planting beds should be mulched and weed-free.
- » All landscaped and grassed areas must be irrigated.
- » Street trees should be planted at regular intervals and provide proper canopy to pedestrians and roadways.
- » Mowed grass should be in the right-of-way and around plantings, and between the bicycle paths and road shoulders.
- » Shielded lighting should be limited to intersections only.
- » A variety of non-invasive species of plant material shall be used.

## HOLLY HERITAGE DESIGN STANDARDS

Holly Township is a small rural community situated in the luscious and rolling acres of northern Oakland County, rich in tradition and in its unique “up north” feel. Established in 1838, and later experiencing major development during the rail industry boom of the early 1900’s, Holly Township has found itself in a position where the Township has a quaint characteristic defined by tasteful residential design, rural and preserved lands, and pockets of historic activity centers. This section provides guidelines and design direction that home owners, architects, and developers of all kinds should reference in the preparation of building and landscaping plans. The following will be an overview of the goals and design standards that can be attained by the practice of exemplary and quality architectural design, which has been a defining attribute of the Township for its entire history.

### TOWNSHIP CHARACTER

From the beginning, Holly Township was characterized by its rail lines and productive lands where a number of finely crafted homes were set on large agricultural estates. Holly Township contains some of the most scenic landscapes and roads in Southeast Michigan, all of which are integral in defining the community. Over the years, some of the parcels have been divided into smaller lots, though individuality, craftsmanship, and quality design have remained staples of Holly Township homes. The rural design, combined with place-specific topographic attributes and native vegetation, have contributed to the rustic character, charm and loosely defined neighborhoods of differing fashions.

Today, Holly Township has been influenced by shifting demographics, economic trends, and the long rooted heritage in rail centric pattern. Township leadership is well aware of the forces that influence these patterns of development, as such, recommended the creation of these design guidelines and other planning tools in order to preserve the character and health of the community. These guidelines reflect the values, vision, and goals of the Township, and encourage character sensitive, sustainable development throughout the community.

### DESIGN GUIDELINES

The following guidelines are not a zoning document, but were developed to assure the conformance to the community vision and goals for development, while still allowing design flexibility and creative solutions.

- » **Reinforce Holly Township Image.** Holly Township’s building and design pedigree includes an ample number of structures that convey classically rural styles, sensible yet sophisticated, and displays the pride of their owners or proprietors. Quality and consistent design contribute to the rural characteristics that have defined Holly Township for over a century. The renovations, retro-fittings, and new construction occurring within Holly Township is stewarded by this rural characteristic ideal established by this guideline.
- » **Facilitate Contemporary Life.** The traditional and rural style of the building stock has been preserved and maintained over decades. As lifestyles and technology evolve, new homes and retrofits must creatively unite the various aspects of traditional and modern life, accommodating the needs of the community.
- » **Encourage Town-Wide Diversity.** A trait that embodies the community, and shall well into the future, is the feeling that no two or three homes are the same. This characteristic of high-quality craftsmanship should be embraced and emulated. A key component in the success of this development pattern of adjacent homes of differing styles is the rigor and discipline the architect applies to the selected style.
- » **Foster Creativity.** The guidelines in this section are intended to offer inspiration and potential solutions for important components of high level and unique architectural style; they are not intended to be a checklist. Creative design solutions should build on the opportunities inherent at the site and at neighboring properties, and adhere to fundamental design principles in the execution of an overall vision and style, producing results that inherently reflect the character of Holly Township.
- » **Promote and Preserve the Natural Environment.** Holly Township is rich in natural resources. The preservation of these resources is imperative to the continued sustainability of the Township. When developing or renovating a site, the sensitive nature and interconnectivity of all of our natural systems must be taken into account. It is encouraged for developments to mitigate potential runoff issues and abstain from significant levels of grading, minimize the removal of native vegetation, and consider the architectural relationship with the surrounding environment and topography.

**ARCHITECTURAL STYLES**

Since the first settlers constructed their homes and buildings in Holly Township well over 100 years ago, the community has maintained a widely diverse representation of architectural styles. This section briefly displays the various styles already in the Township, as well as the architectural styles that are encouraged with future development. The styles described below can be used in its literal sense, or as inspiration. Nonetheless, high-quality design and construction materials are expected when developing such structures.

In choosing a style to emulate, it is imperative that the designer understand the intricacies and properties of the style being delineated. The defining characteristics of a style, such as roof form, façade composition and other identifying details. Monotonous design, in the form of large box homes with simple façade variations, are strongly discouraged. The above examples display a comprehensive design thought process that considers not only the interior functionality of the structure, but its impact on the exterior appearance and its integrity to the root design.



*Greek Revival*



*Federalist Farmhouse*



*American Farmhouse*



*Queen Anne Victorian*



*Cottage Style*

**SITE PLANNING**

The existing topographical terrain and established tree cover and plant life contribute greatly to the distinctive character of Holly Township. The following are guidelines for the treatment of the natural environment and its relationship to the placement and design of new and remodeled homes.

1. **Natural Site Features.** The siting and design of structures should integrate mature and native trees and existing vegetation into the site plan and building design. It is Township policy to prevent significant loss of vegetation through individual development.

2. **Topography**

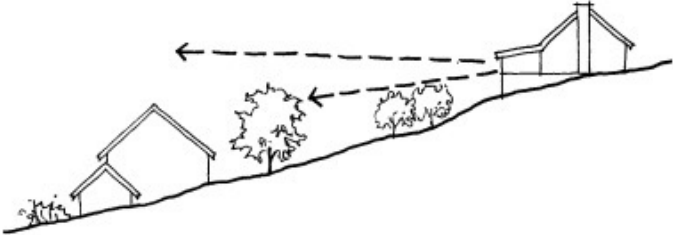
- **Siting.** Siting and design of structures should conform to the natural contours of the site and mitigate the need for extensive cutting, filling, or terracing.
- **Grading.** Where grading is necessary, contour grading that emulates the topography of the existing slope should be utilized. The site should not be shaped into terraced building pads nor should a flat site be created on a parcel that has existing topography.
- **Massing.** A building’s mass, roof form and projecting elements should be designed so as to minimize the visual impact of the building on the site or slope. Rooflines should be designed in ways that minimize interference with views from neighboring properties, and do not create drainage and runoff problems during torrential conditions.

3. **Neighborhood Context.** Buildings shall conform to setback standards and should generally reflect the established development conditions of neighboring properties, including building setbacks and landscape treatments.

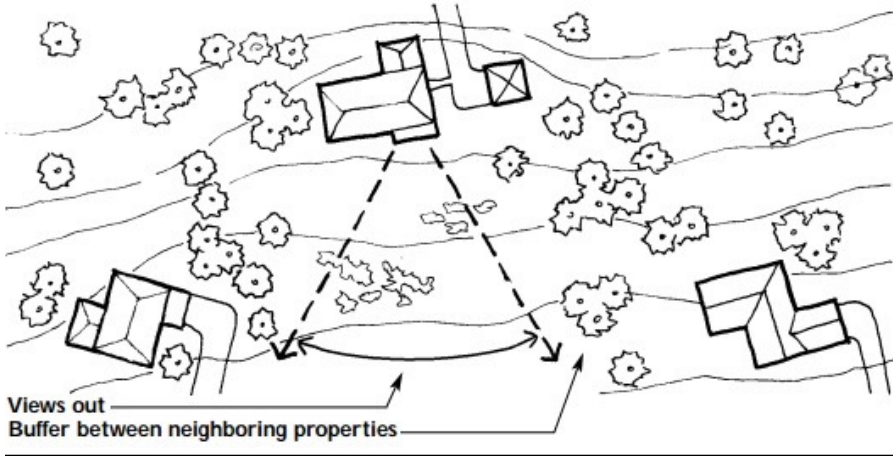
4. **Parking.** Where feasible, entries to garages should be on the sides of buildings to avoid placing them in direct view from the public street.

5. **Views.** The various topographical, water features, and tree cover conditions that exist in Holly Township create a unique view opportunity that often requires sensitive site planning.

- **View from the Site.** Where feasible, buildings should be sited so as to maximize the view potential from the site while also maximizing the distance from buildings on adjacent properties.
- **Views from Neighboring Properties.** The Township does not have an ordinance protecting views. Where feasible, buildings and trees should be designed and sited so as to minimize the obstruction of key views from adjacent properties.



**Landscaping should be placed to screen views to proximate properties while allowing views out.**



## MATERIALS AND FINISHES

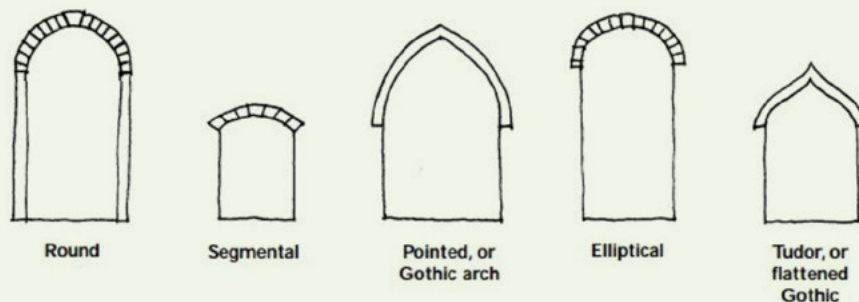
Building materials and the embodiment of their physical properties and characteristics are important components in the delineation of an architectural style. This section offers guidelines on a number of issues to consider in the selection and application of building materials.

1. **Character.** The designer and developer must determine the purpose and function of the building, the surrounding environment and neighborhood, and how those components interrelate with the architectural style and materials of the development.
2. **Detailing.** The choice of materials should be properly scaled to the development. Overly large areas of siding, glass, or other materials without break or differentiation in window and door treatments or material patterns should be avoided unless appropriate for the specific architectural style.
3. **Palette.** Building materials should not be individual components of a building, but instead fit into the larger design palette consistent with the style and architecture of the building. Physical properties of the materials, such as texture, color and weight, should maintain an aesthetic and stylistic relationship to each other and the architectural design of the building. The appropriate use of textures, materials, and colors can make a strong contribution to the quality and richness of a building.
4. **Quality Materials.** Building materials and architectural finishes should possess physical properties appropriate to the architectural style, and allow for appropriate maintenance procedures that ensure a long lifespan for the selected material.

## FACADES

The façade of a building is the countenance that is offered to the outside world, distinguishing the transition between the intimacy of the private function of the development and the very public nature of its visual expression. A building façade is typically the defining component of an architectural style, and offers clues as to the functions of the rooms behind it. This section offers guidelines for some of the important components of building façades.

1. **Composition.** The composition of all façades of a building shall follow the principles of a given architectural style. The placement of openings on a façade should communicate the building floor plan and the structural logic of the building, while maintaining a balance of design.
2. **Roofing.** The height of a façade and its proportional relationship to the roof are principle components of an architectural style. The façade and roof form should communicate the predominate style of the building, dictating door, window and design pattern placement.
3. **Arches.** Arched doors, windows or other façade openings are used in many different design styles. A careful study of the style will determine the arch shape and proportion that is appropriate for a given design. There are a number of techniques that should be followed to ensure the proper placement of arched openings on a façade, including a common spring line for the arches and identical ratios for arched openings of differing sizes. Openings are encouraged to be framed with uniquely detailed frames, uniformed throughout the comprehensive design of the project.





4. **Columns.** Columns are placed on the facades of buildings usually as the means to support the roof of a porch. Columns have a number of properties that should be true to the architectural style of the building. These include:
- Height and width
  - Column base
  - Column top, or capital
  - The proportion of all of these elements together
5. **Porches.** A porch is a transitional space on the building façade between the external and internal environments of the home. It is useful to consider that the porch is a significant feature of many architectural styles in Holly Township and the Midwest, being that its roots lie in American architecture of places with significant shifts in weather conditions over the course of a year's seasons.

Porches are primarily of two forms - either inset into the primary mass of a building or built outside the main building as a separate volume that helps provide consistency between the building mass and the building's architecture.

6. **Railings.** The use of railings on porches, balconies and upper level windows or door openings should be carefully considered as a component of an architectural style. When properly applied, well designed and properly detailed railings are an opportunity to reinforce specific characteristics of the selected architectural styles. The materials used for the railings should be a part of an appropriate palette of materials for the building.

## WINDOWS AND DOORS

In the evolution of building design, windows originated as simple ventilation openings. Later, translucent materials were used to allow light in while offering some control over the elements. Still later, glass came into use. Doors, of course, are the principle means of egress and security. Both of these building features are closely related to the delineation of an architectural style and are dominant features on a building's façade.

1. **Fenestration.** The size, shape and proportion of window openings should be in keeping with the architectural style of the building and should be consistent on all facades of the building. Although a variety of window types and shapes may be used, there should be harmony within that variety.
2. **Material.** Windows should be constructed of high quality materials that provide long lifespan and are in keeping with the specific architectural style of the building.
3. **Reveals.** Windows should be installed into walls with an adequate depth, or reveal, to create shadows, which heighten the visual richness of the façade. The depth of the reveal should be in keeping with the architectural style.
4. **Trim and Sills.** Trim molding, lintels and window sills should be used to express a level of detail on the façade, consistent with the façade design. Windows do more than let light and air in, their placement on a wall affects our understanding of both exterior and interior environments, shaping our views of both worlds.
5. **Doors and Entries.** Entry features should be scaled to the façade and appropriate to the architectural style. The size and material of the entry door as well as the quality of the door hardware should be appropriate to the scale and style of the house.



Asymmetrical façade massing



Symmetrical façade massing

## LANDSCAPE DESIGN

Well-designed landscaped areas around buildings enhance the property and mitigate the impacts of new construction. Landscape improvements can heighten the aesthetic impacts of a well-designed building and can work in simpatico with the design style chose for the development. This section offers some guidance for the interaction between landscape design and Holly Township buildings.

1. **Relationship to Building.** Landscaped elements should augment the relationship between the building and its site. Landscaping should be designed to define private outdoor space, and the more public, or street-facing, outdoor space. Trees and lower planting materials should be utilized to help “ground” the building and mitigate its overall mass. The landscape plan will consider this grounding element, as well as goals such as maximizing views or creating visual buffer zones between the properties and neighboring parcels.
2. **Water Conservation.** The Township historically has been concerned with water and resource conservation. Trees and shrubs should be selected based on their suitability with the climactic characteristics of Holly Township as well as the unique soil characteristics of the area. Native species are highly encouraged as they are well suited for the existing conditions of the location.
3. **Fencing and Walls.** Design of fences and walls along streets should be compatible with the neighborhood and the architectural style of the building. Landscaping materials shall be planted adjacent to the fence so that there is full coverage of the fence, softening the appearance of the fence material and provide a layering of vegetation in front of the fence. If the fence were to include a pedestrian entry gate or automobile entry gate, the design should reflect the design of the building and contribute to an overall improvement of the property.
4. **Lighting.** Exterior lighting should not be directed toward the street, the sky, or neighboring parcels. The fixtures should be designed to subtly highlight key features of the landscape design, such as walkways or paths, and augment architectural features of the building.



# Action Item Tables

The work of developing a master plan is only just the beginning of attaining the goals and visions it lays out. The following action item tables summarize the specific tasks the Township should work to accomplish over the next 5 to 10 years to realize and implement the master plan.

| Smart Growth Strategies  |            |           |
|--|------------|-----------|
| Action Item  | Short-term | Long-term |
| 1. Develop a Regulating Plan for the Rural Town Center district to provide design and density standards for development.   | ✓          |           |
| 2. Conduct a “sustainability audit” of the Zoning Ordinance to identify opportunities for incorporating sustainability standards   |            | ✓         |
| 3. Encourage low impact development stormwater management techniques.  | ✓          |           |
| 4. Amend ordinances to provide incentives for alternative energy systems in all construction.  | ✓          |           |
| 5. Develop incentives to encourage developers to utilize energy efficient and environmentally sensitive materials and practices.   | ✓          |           |
| 6. Create a resource list to help residents find information about alternative energy sources and low impact development techniques, as well as local suppliers, installers and contractors. | ✓          |           |
| 7. Develop an educational campaign to promote environmental stewardship.   |            | ✓         |
| 8. Review parking standards for unnecessary impervious surface code requirements.  | ✓          |           |
| 9. Amend ordinances to include incentives and requirements for the use of native species for landscaping and stormwater management purposes.   |            | ✓         |
| 10. Maintain an inventory of wetlands in the Township.   | ✓          |           |

# Residential

| Action Item  | Short-term | Long-term |
|--|------------|-----------|
| <b>1. Encourage traditional housing styles</b>   |            |           |
| a) Zone appropriate areas for single and multiple family development at a variety of densities.  |            | ✓         |
| b) Establish zoning mechanism for transferring development rights in order to preserve natural, low density areas, and encourage development in target areas of the Township.  |            | ✓         |
| c) Develop design guidelines/ordinance to ensure high quality development at all densities.  | ✓          |           |
| d) Adopt ordinance requirements to ensure that retirement housing is located near community and civic uses for a range of housing needs and income levels.   |            | ✓         |
| e) Amend ordinances to require generous buffers to high volume roads with unifying rural elements and where designated on the Land Use Plan, use appropriate uses to transition to more intensive uses.  | ✓          |           |
| <b>2. Promote open space of appropriate size and function in residential developments based on the character of the area, natural features and location within the community.</b>  |            |           |
| a) Amend ordinances to require trailways and sidewalks within residential developments to connect to township and regional trailways.  | ✓          |           |
| b) Amend ordinances to provide incentives for developers to use residential development options that permit flexibility in design in order to achieve quality development by providing incentives for the preservation of environmental features and open space. | ✓          |           |
| c) Establish mechanisms to assist in long term maintenance of open space areas.  |            | ✓         |
| <b>3. Preserve the residential character of the Township and protect the long-term stability of neighborhoods.</b>   |            |           |
| a) Protect the long-term stability of neighborhoods through adequate code enforcement and zoning regulations.  | ✓          |           |
| b) Amend ordinances to include regulations and incentives that establish high quality design and landscape standards   |            | ✓         |
| c) Amend ordinances to included preferred residential designs and elements that are required to be incorporated into residential projects. Develop and provide a brochure to be distributed to residential builders and developers.                              |            | ✓         |
| d) Amend ordinances to provide incentives to single family developments that incorporate certain preferred residential designs and elements, such as side and rear entry garages, high-quality building materials, etc.  |            | ✓         |
| <b>4. Incorporate traditional neighborhood design elements into residential developments, including sidewalks, street trees, and the location of a central public space from which the surrounding neighborhoods radiate.</b>                                    |            |           |
| a) Amend ordinances to require pedestrian connections between areas designated as open space and home sites.   | ✓          |           |
| b) Amend ordinances to require street trees, sidewalks, pedestrian lighting and amenities including benches and attractive street signs in all neighborhoods.  |            | ✓         |
| c) Amend ordinances to require street networks in residential developments and connect neighborhoods with each other as well as with shopping and office developments.   |            | ✓         |
| d) Require implementation of portions of the Township Pathways Plan through residential site development approval.   | ✓          |           |

# Commercial

| Action Item  | Short-term | Long-term |
|--|------------|-----------|
| <b>1. Plan for the development and redevelopment of commercial areas sufficient in size and location to meet the shopping needs of Township residents</b>  |            |           |
| a) Zone appropriate areas for community commercial development at interchanges to permit highway oriented business to locate near interstates and discourage strip development along major roadways.   | ✓          |           |
| b) Amend zoning ordinance standards for existing commercial districts to permit concentrated and attractive community shopping centers to be developed so that smaller strip commercial is discouraged.  | ✓          |           |
| c) Amend the zoning ordinance to give the community quality development that is context-sensitive and unique to the character of Holly Township.   | ✓          |           |
| d) Permit commercial development in selected areas near existing or planned job centers with a mix of uses that serve the businesses and employees in those centers.   | ✓          |           |
| <b>2. Encourage community commercial uses in strategic areas within the Township.</b>  |            |           |
| a) Encourage community commercial development in locations with sufficient infrastructure, convenient road access and where compatible with surrounding development such as the Enterprise and Recreation District.                              | ✓          |           |
| b) Encourage redevelopment of the Fish Lake Road/Grange Hall Road sub area, pursuant to the goals and objectives of the sub area plan.   | ✓          |           |
| c) Develop and apply access management strategies when properties develop or redevelop   |            | ✓         |
| d) Develop clear and comprehensive building and site standards to ensure quality development.  |            | ✓         |
| <b>3. Plan for selected nodes of neighborhood commercial development throughout the Township and discourage strip commercial development along major roadways</b>  |            |           |
| a) Zone appropriate areas for neighborhood commercial development at specific major roadway intersections throughout the Township rather than promoting strip commercial development along roadways.   |            | ✓         |
| b) Establish design guidelines and screening/landscaping standards that achieve quality development, that reflect Township character.  | ✓          |           |
| c) Review and revise zoning ordinance standards for existing commercial districts to permit development of attractive neighborhood shopping centers of a size sufficient to include various uses, further discouraging smaller strip commercial. | ✓          |           |
| d) Design setback requirements that discourage large parking lots from being placed within front yards and permit buildings to be brought closer to the street.  | ✓          |           |
| e) Require pedestrian connections with existing residential areas, where possible.   | ✓          |           |
| <b>4. Plan key areas in the Township for Mixed-Use Development projects.</b>   |            |           |
| a) Identify appropriate areas for mixed-use developments in the Master Plan.   | ✓          |           |
| b) Use form-based codes or other flexible zoning tools to achieve a mixed use or alternative commercial development.   |            | ✓         |
| c) Establish design guidelines, screening and landscaping standards, and other appropriate requirements as conditions of approval that achieve quality development, consistent with Township character and the context of the surrounding area.  | ✓          |           |

# Industrial

| Action Item  | Short-term | Long-term |
|--|------------|-----------|
| <b>1. Promote the redevelopment of industrial parks and individual buildings and plan for new industrial development with access to major roadways to encourage job-creating businesses to the Township.</b> |            |           |
| a) Zone appropriate areas throughout the Township for light and general industrial uses.   | ✓          |           |
| b) Industrial areas should be located in limited areas with access to major roadways and interstates.  | ✓          |           |
| c) Develop a tiered-use zoning approach for light industrial districts that limits permitted uses when adjacent to residential neighborhoods to minimize impacts for residents.                              |            | ✓         |
| d) Limit more intensive industrial uses to areas not adjacent to residential neighborhoods.  | ✓          |           |
| e) Promote the use of shared driveways and internal connections between individual users to reduce the impact of truck traffic on roadways   | ✓          |           |
| <b>2. Encourage quality design and site planning with development standards.</b>   |            |           |
| a) Develop landscape standards that require screening along road rights-of-way that is natural in character and consistent with the character of the Township.   | ✓          |           |
| b) Require quality landscape materials to be used that would complement main buildings.  | ✓          |           |
| c) Ensure sign standards are adequate to complement right-of-way treatment and not overwhelm the streetscape.  | ✓          |           |
| d) Require screening between uses to maintain the same theme and provide for alternative screening including preservation of existing vegetation, use of supplemental plantings, screen walls, etc.          | ✓          |           |
| e) Screen rooftop appurtenances from view from property lines and public roads based on zoning ordinance standards.  |            | ✓         |
| <b>3. Encourage development of Research and Development uses of a sufficient size and location to attract viable R&amp;D Users which will further the employment opportunities in the community.</b>         |            |           |
| a) Zone an area large enough to support research and development uses along North Holly Road.  | ✓          |           |
| b) Create an economic development program to promote the area to R&D users and to coordinate marketing efforts with the County and universities.   | ✓          |           |
| c) Develop building and site design standards that call for quality development commensurate with the goal of locating premier R&D users to the area   | ✓          |           |
| <b>4. Continue planning for and promote development that is consistent with Grand Blanc’s Technology Village Area.</b>   |            |           |
| a) Develop partnerships aimed at recruiting new high-tech and medical oriented businesses.   | ✓          |           |
| b) Create sustainable development standards that encourage high-quality development that protects the area’s natural resources.  | ✓          |           |
| c) Develop a marketing plan for the Township’s research and technology areas.  | ✓          |           |
| d) Establish benchmarks and timeline for North Holly implementation strategies.  | ✓          |           |

# Thoroughfare

| Action Item  | Short-term | Long-term |
|--|------------|-----------|
| <b>1. Continue to promote and encourage Access Management Strategies.</b>  |            |           |
| a) Continue to enforce the Access Management standards within the Township's Zoning Ordinance with respect to driveway quantity, location, spacing, orientation, and design.   | ✓          |           |
| b) Continue to enforce Zoning Ordinance standards for driveway width, turning radius, clear-vision areas, and driveway depth to allow automobiles and trucks to safely and efficiently enter and exit a site.              | ✓          |           |
| c) Encourage shared access to sites by use of shared driveways, frontage roads, and internal connections between sites   | ✓          |           |
| <b>2. Expansion of roadways should be designed and built to improve the flow of traffic, increase traffic safety, reflect the context of the surrounding area, and accommodate pedestrian activity, where appropriate.</b> |            |           |
| a) Target roadway improvements where the density, functional classification, and growth management strategies will demand an increase in road capacity.  | ✓          |           |
| b) Consider design and construction methods to improve the safety of roadways by eliminating roadway offsets, sight distance limitations, driveway spacing, and incorporating access management standards.                 | ✓          |           |
| c) Work with the Road Commission to identify which projects should incorporate a boulevard design.   |            | ✓         |
| d) Maintain two-lane or three-lane cross-section in areas planned for lower densities or where additional widening is not in context with the area.  | ✓          |           |
| <b>3. Develop the Township's non-motorized transportation network</b>  |            |           |
| a) Establish a Non-Motorized Capital Improvement Plan.   | ✓          |           |
| b) Improve the Non-Motorized Capital Improvement Plan to identify the side of the road pathways are planned for (if it is only one side).  | ✓          |           |
| c) Adopt standards within the Township Zoning Ordinance requiring the construction of planned pathways along the frontage of individual sites as they develop.   |            | ✓         |
| d) Continue to work with road agencies and utilities to ensure that capital improvement projects (road widenings, new bridges, sewer/water extensions etc.) are designed to accommodate planned non-motorized facilities.  | ✓          |           |





# Appendix

- A. Survey Responses
- B. 2004 Oakland County Potential Conservation / Natural Areas Report
- C. Retail Gap Analysis



# Survey Responses

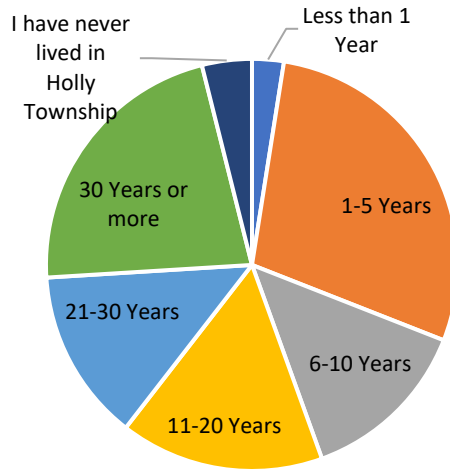
Master Plan

Holly Township, MI

October 2023

# General Questions

| <b>How many years have you lived in Holly Township?</b> |    |        |
|---|----|--------|
| Less than 1 Year  | 7  | 2.49%  |
| 1-5 Years   | 80 | 28.47% |
| 6-10 Years  | 38 | 13.52% |
| 11-20 Years   | 45 | 16.01% |
| 21-30 Years   | 38 | 13.52% |
| 30 Years or more  | 62 | 22.06% |
| I have never lived in Holly Township                    | 11 | 3.91%  |

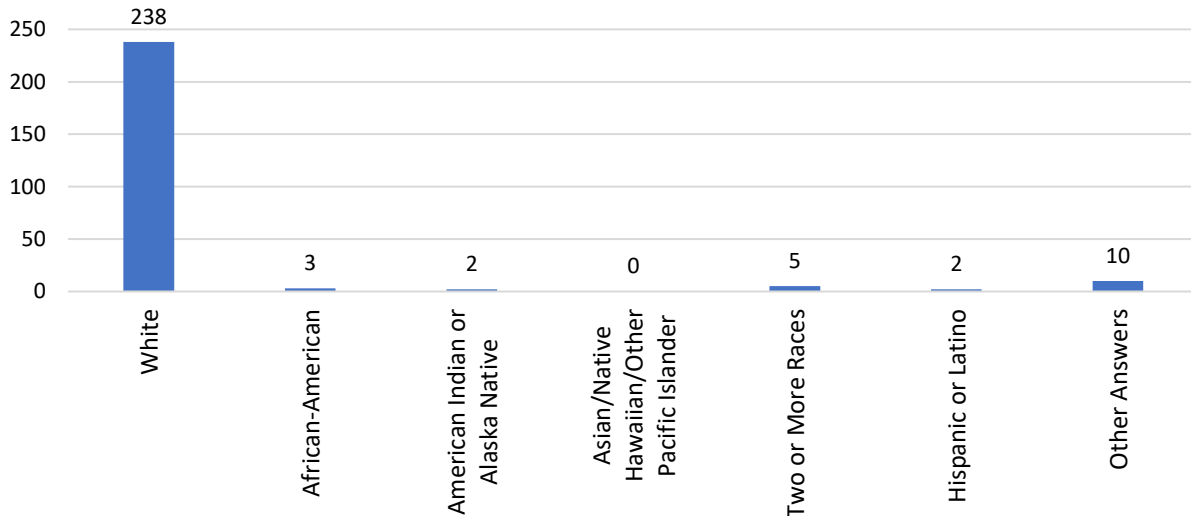


| <b>Do you own property in Holly Township?</b> |     |        |
|---|-----|--------|
| Yes   | 248 | 88.26% |
| No  | 33  | 11.74% |

| <b>What is your current housing status?</b> |     |        |
|---|-----|--------|
| Rent  | 14  | 5.11%  |
| Own   | 257 | 93.80% |
| Neither                                     | 3   | 1.09%  |

| <b>How old are you?</b> |    |        |
|-------------------------|----|--------|
| Under 18 years          | 1  | 0.37%  |
| 18 to 24 years          | 4  | 1.47%  |
| 25 to 34 years          | 27 | 9.93%  |
| 35 to 44 years          | 52 | 19.12% |
| 45 to 54 years          | 63 | 23.16% |
| 55 to 64 years          | 52 | 19.12% |
| 65 years or more        | 73 | 26.84% |

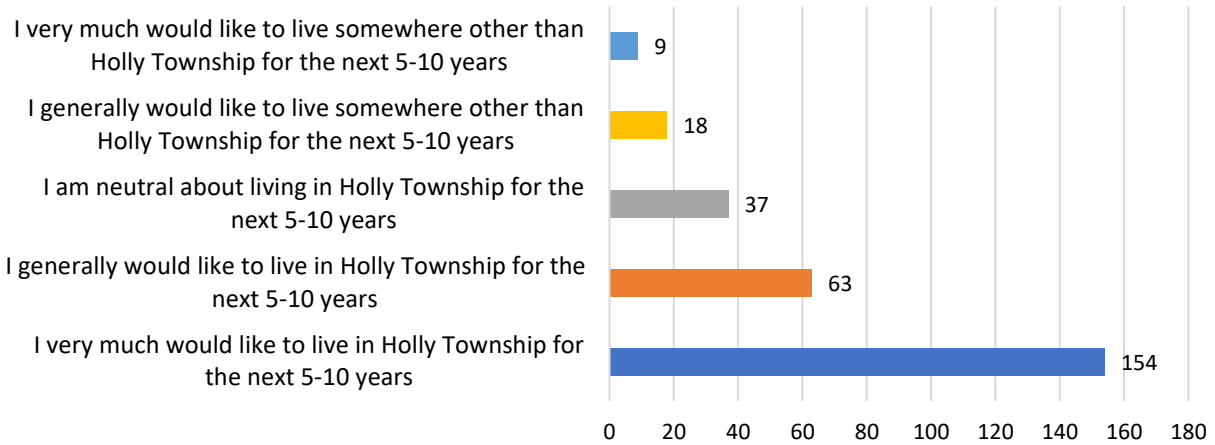
## What is your racial or ethnic identity?



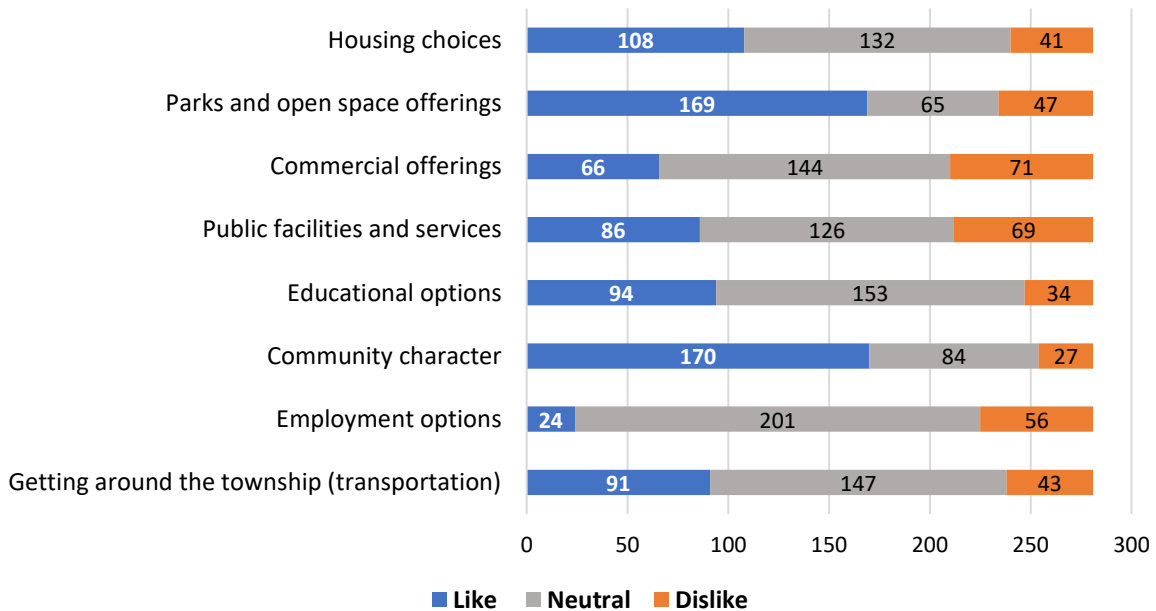
# Master Plan Questions

**NOTE:** Based on the demographic data collected as a part of this survey, the following responses most accurately capture the preferences of people over 45 who currently live in Holly Township.

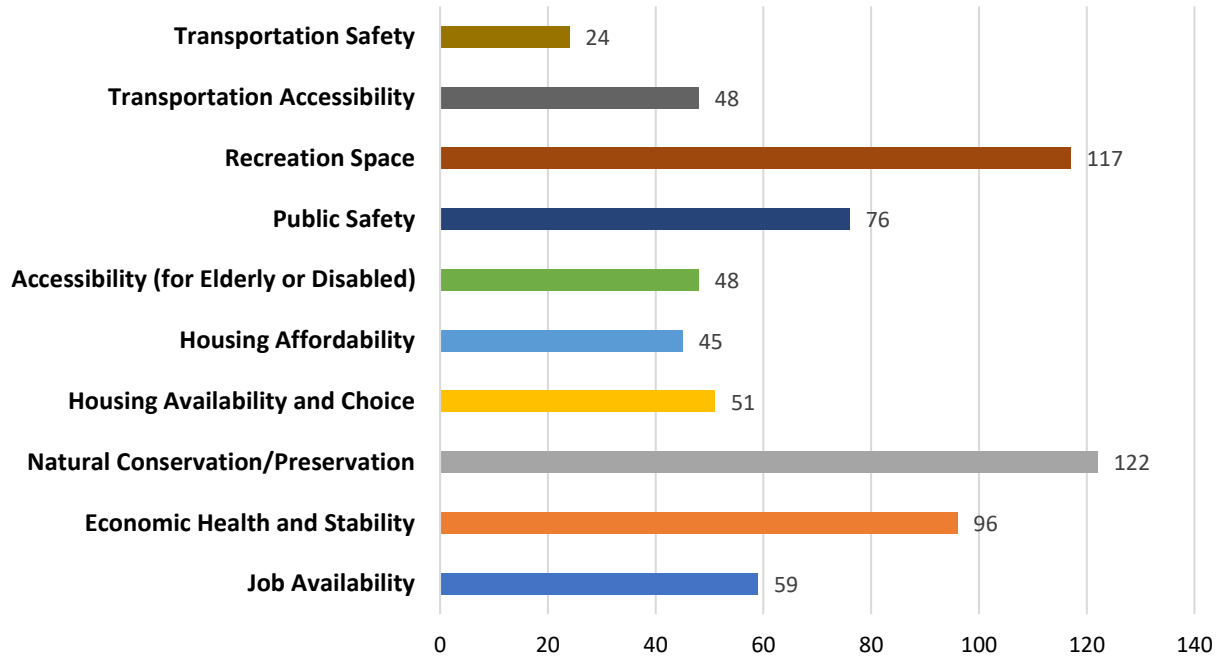
## How would you feel about living in Holly Township for the next 5-10 years?



## What do you like and dislike about Holly Township today?



### What could be improved about Holly Township?



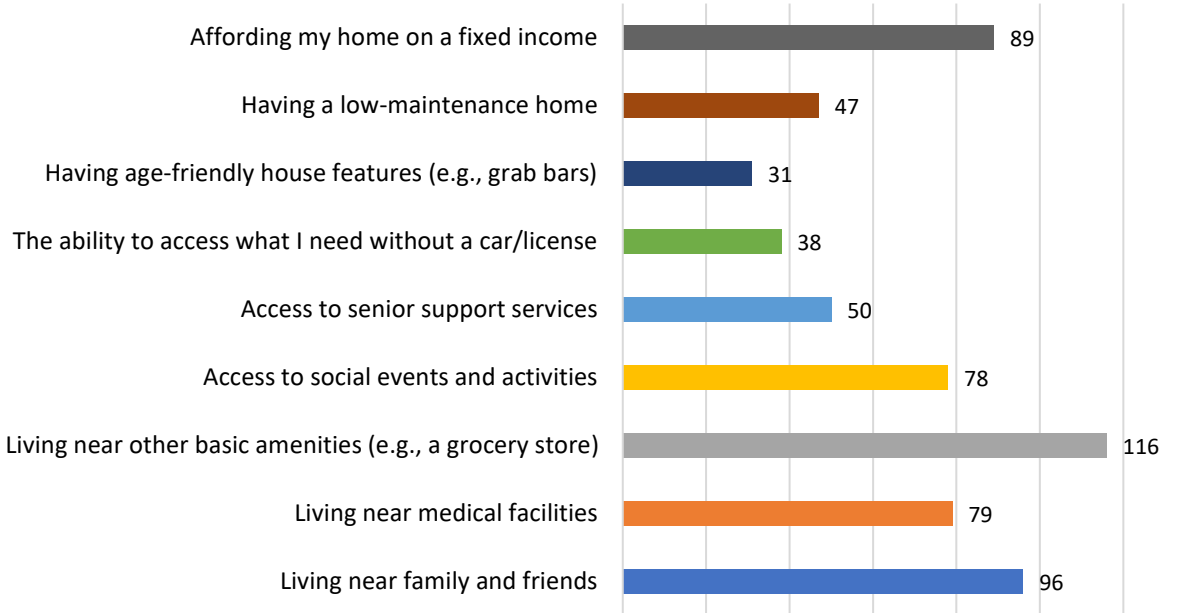
### What type of home do you currently live in? What type of home do you want to live in 10 years from now?

|                       | Stand-alone house | Duplex | Townhome | Attached condo | Apartment | Mobile home | Independent living facility | Assisted living facility | Other |
|-----------------------|-------------------|--------|----------|----------------|-----------|-------------|-----------------------------|--------------------------|-------|
| <b>Today</b>          | 90.39%            | 1.07%  | 0.36%    | 3.91%          | 0.36%     | 3.20%       | 0.00%                       | 0.00%                    | 0.71% |
| <b>10 Years Later</b> | 83.99%            | 1.07%  | 1.42%    | 4.27%          | 0.71%     | 0.71%       | 4.27%                       | 0.71%                    | 2.14% |

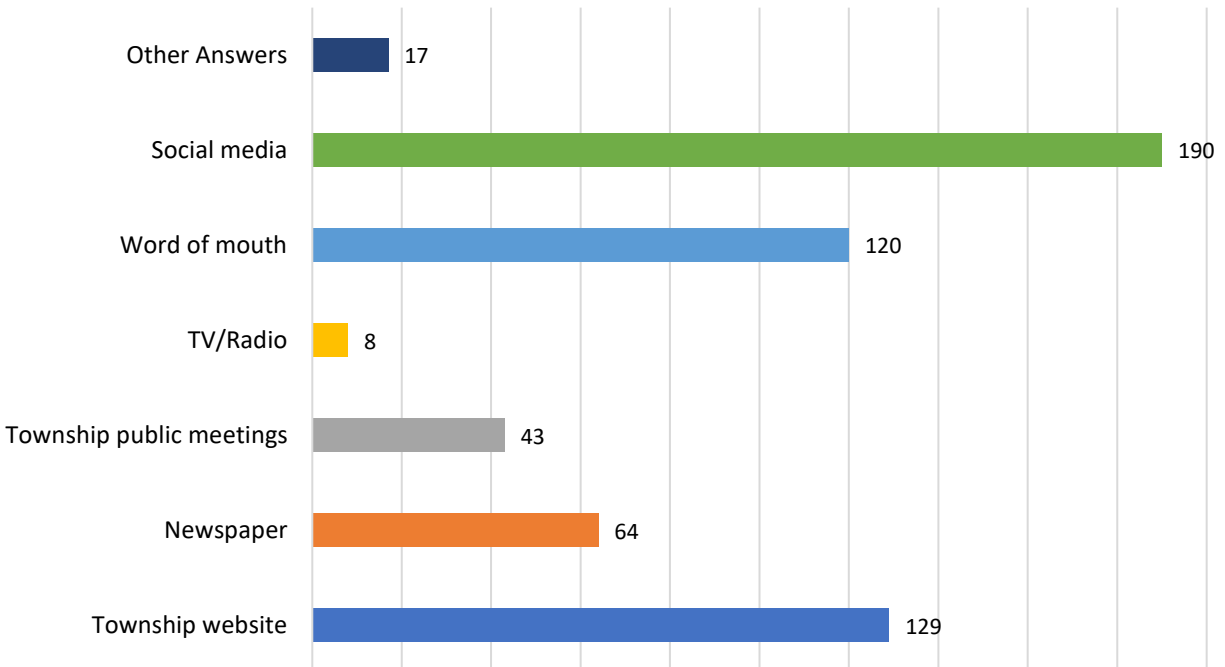
**NOTE:** This table does not capture the preferences of people who do not currently live in Holly Township *but* want to move to Holly Township. The survey was available to people outside the Township but was not actively advertised. 11 answers were received from outside the Township, and it is probable these answers were from people living in the Village of Holly. Based on the demographic data collected as a part of this survey, this response captures the preferences of people over 45 who currently live in Holly Township.

**Are you over 55? If so, which of the following things are important to you as you age in Holly Township? Select Multiple.**

170 reponses, 111 people skipped question.



**Where do you typically get your information about Holly Township and community affairs and programs?**



**Other**

I don't, it isn't communicated.

We don't get a lot of information. And when I leave a message with a question for the supervisor he does not call me back.

Getting our local info has not been easily available in Holly Twp since we have moved here 3 yrs ago.

Local groups I work with -- cycling club, land conservancy, hiking group, Shiawasee River group

Things posted around town/posters

Email notices

I drive through 4x per day. My kids go to Holly Academy.

Neighbors app

Emails

Email

Association newsletter

Email

email

I work there.

Things that are mailed

Holly Chamber of Commerce email blasts and periodic communications/announcements.

Newsletter

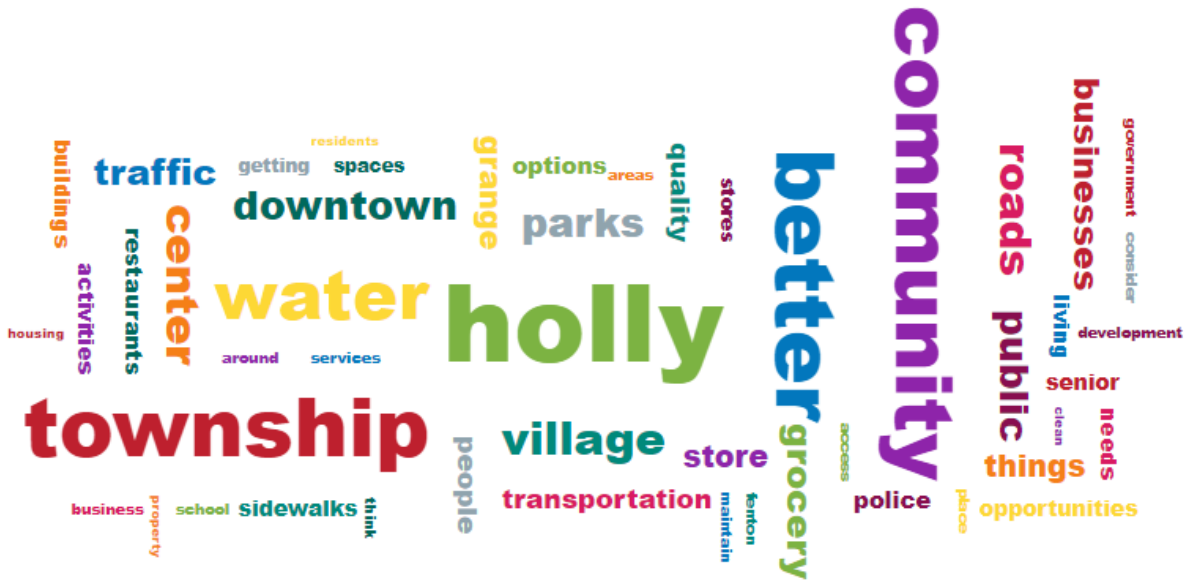
mailings



# Open-Ended Question Word Bubbles

Word bubbles show the frequency that a word appeared across all 281 open-ended responses. Common words like Holly, township, and people can be ignored in the word bubbles below. These will be removed in the final version to be included in the Plan. The full responses are available at request but were too long to include in this packet.

**What is one thing you believe would improve the quality of life in Holly Township?**



**In your opinion, what is Holly Township’s greatest strength heading into the future?**

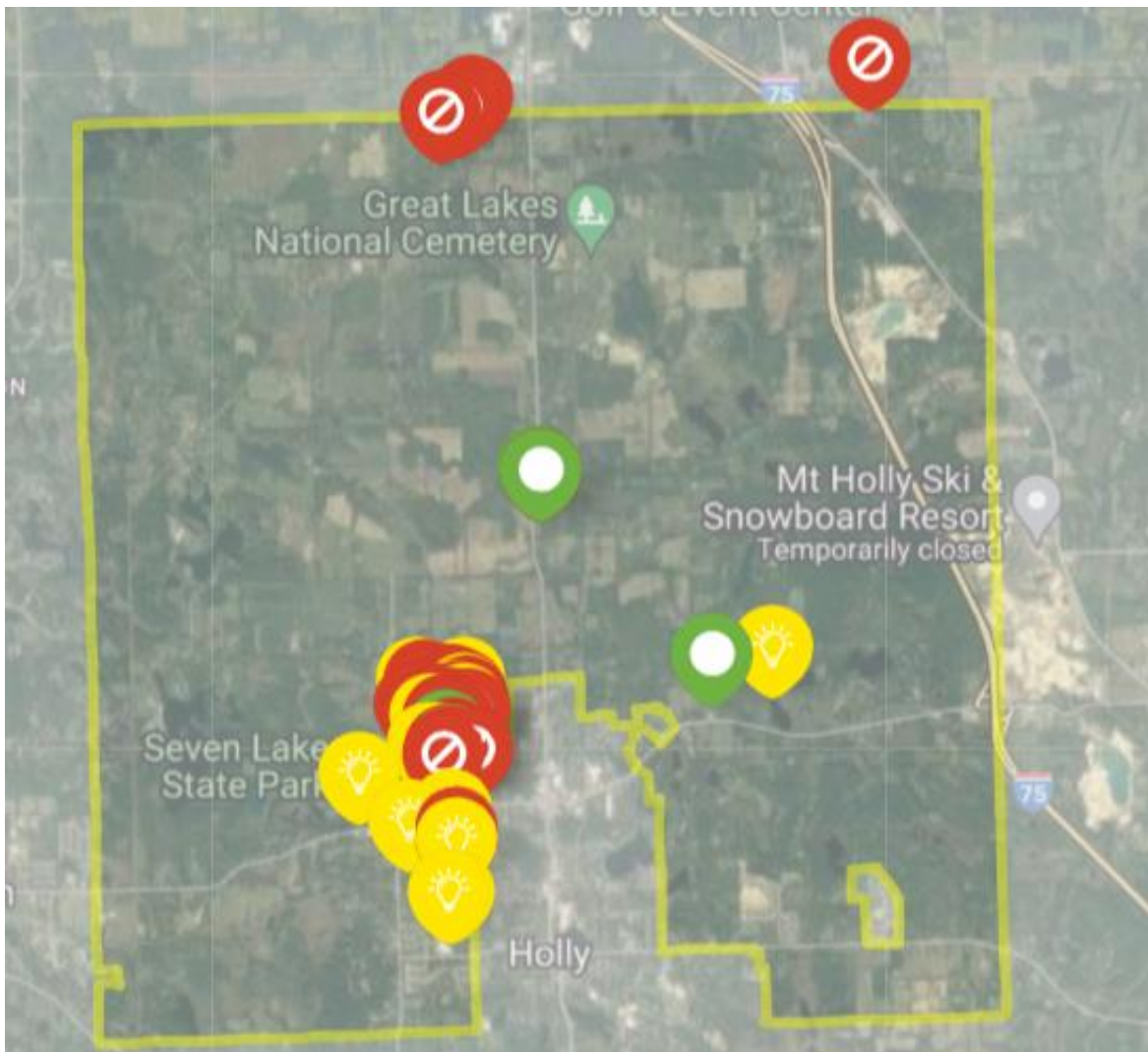




# Map Comments

In total, 61 comments were left on the Township map – 5 Likes, 40 Dislikes, and 16 Ideas. The comments tended to be clustered around the Grange Hall and Fish Lake intersection, as shown in the summary map below. Some people left multiple comments on the map, and we estimate that approximately 23 people contributed to the map overall (based on the computer IP addresses associated with each comment).

One person left 30 comments and is thus over-represented on the map and in the following word bubbles. These comments all concerned the Riverside development.





| <b>Ideas</b>  |
|---|
| Rezone to C@ to include in the Grange Hall Rd Fish Lake Rd Overlay.   |
| Include space for a column barium.  |
| Rezone to C2 and include in the Grange Hall Rd Fish Lake Rd Overlay   |
| Mirror the kayak launch on the Fish Lake Rd property owned by Holly Township. Focus on ADA accessible components.   |
| Crossing light for pedestrians  |
| Let people actually have access to this bridge and nice trail to walk on.   |
| Create sidewalk, bike lanes, crosswalks. Home owners could use sidewalk to walk their children to school, walk/ride bikes to the village etc. Sidewalk just ends where the village ends.  |
| Expand parking spaces for the lake access   |
| Leave the current zoning of .5 (R1) to 1.5 (R2) acre lots   |
| Make the developer finish this incomplete mess of a development, sidewalks missing, roads incomplete, the development signs never installed or created. The open areas look like an abandoned development in flint. Where is the usable green spaces, the parks, and completed project?   |
| Where are the township officials in enforcing this developer to complete it, it's a sad state of affairs here to say the least :(   |
| The township & master plan wants the area connected areas and walking paths throughout, yet the Riverside sub was left incomplete many sidewalks ending in the middle on yards, connecting nowhere, and just missing all together lets finish this project before discussing new ones PLEASE.   |
| The developer and clearview should be held accountable for the mess that was left behind from the builder. Storm drains were not placed and the old ones don't drain well, area gets flooded with heavy rainfall.   |
| Finish the sidewalk plan from the development that was approved, Incomplete sidewalks throughout this development side walks are missing altogether some ending the middle of the street, A few are not not even in front the homes many just stop in the the middle of lawns, its just a MESS & dangerous for the children and school. |
| Here's an idea, lets stop Silverman from another mess in Holly and turn their plans down they proven they are not good for Holly.   |
| they bailed on the the development last time, then he made Holly file a lawsuit over the water taps they defaulted on, and let the taxes go tax delinquent and only began paying when a tax sale was posted. They are not good for Holly!   |
| Use the developers security bond collected to clean up the mess and debris dumped by the builders. Massive amounts of back fill illegally dumped here causing water & drainage issues for the residents, flooding the yards, foundations, and basements   |
| There should be sidewalks in this area for students and families.   |

| <b>Likes</b>   |
|--|
| <b>Barn restoration project</b>  |
| <b>Create youth development opportunities focused on agriculture and natural sciences.</b> |
| <b>Crossing light for pedestrians. Very dangerous intersection</b>                         |
| <b>Great idea for a grocery store. Intersection is fine.</b>                               |
| <b>These men &amp; women are GREAT!</b>  |
| <b>Barn restoration project</b>  |
| <b>Create youth development opportunities focused on agriculture and natural sciences.</b> |
| <b>Crossing light for pedestrians. Very dangerous intersection</b>                         |
| <b>Great idea for a grocery store. Intersection is fine.</b>                               |
| <b>These men &amp; women are GREAT!</b>  |

One person left 30 comments; this person’s comments were primarily directed at the Riverside development and have been colored blue in the tables to help distinguish them from the overall responses.

## **Dislikes**

The traffic and congestion on Grange Hall road from Holly road to Fish lake is actually dangerous.

The intersection at Riverside & Grange Hall should be illegal to continue to operate without a solution to the neighbor to the north, dangerous to say the least

The timing of the traffic lights at Patterson and Fish Lake make left turning from either north or south Riverside treacherous. The light timing guarantees there will always be cross traffic at this intersection. Consider adding a sensor-based traffic signal for Riverside and Grange Hall.

Riverside Dr and Grange Hall is very dangerous. Hills on both sides block views to safely enter or exit either road. Recent traffic changes have had no effect on improving conditions.

I dislike the vandalism on the bridge and gate down by the river

Extremely dangerous intersection. Too much traffic. Area cannot handle further development

Plans for another grocery store here is terrible especially with the current traffic at grange hall. Plus there is a grocery store and open/available retail shops on north holly rd that can't be filled a 1/2 mile away.

The idea for a gas station and grocery store so close to residential areas ON TOP of an already dangerous and congested Grange Hall road is a bad idea. Not to mention utilizing the same entrance as the neighborhood for the grocery store and possibly connecting into the neighborhood by people's houses?! No way!

Bridge does not look safe at all. The infrastructure supporting it is very damaged. The area is always vandalized and vulgar words painted on bridge/ rocks. Trash is left, if the public want this a public walking trail then they all need to help take care and watch their kids who trash it!

Do not approve of proposed campground - It will depreciate local residents property values

Grange Hall road is terrible, the traffic and the it is dangerous at many intersections, such as Riverside & Grange Hall

Silverman, they bailed in 2007 and the township is actually giving them another chance. They are only concerned in their pockets and keep trying to sell a bag a trash to the township. Hold them accountable and say no to any zoning changes on properties they own DON'T let them fail again!

Silverman and their ideas and snake oil are very wrong for Holly.

Hold the line on current zoning restrictions.

Any plans for grocery store her, in the middle of a residential subdivision, is the worse idea possible, Where is the concerns for the safety of the homeowners, the school, and the children. Commercial traffic within a residential neighborhood is insane altogether to even think about. The traffic at grange hall and riverside now is dangerous without adding additional traffic especially commercial.

The water quality, and the cost of the terrible quality of it are both huge concerns and need to be addressed.

Waste of energy, resources, and focus,

This area is mess, the township officials need to hold the developer accountable. It's shame that this subdivision must deal with the mess that was left behind by the developer. Usable and open green spaces / a park were sold to township for the approval but where are they today?

Patterson School traffic disrespects the homeowners, blocking driveways, parking on lawns, driving on lawns and such, causing damage to the private properties and the township nor the school will assist with getting this addressed and under control, and yet the township is considering additional development and allowing additional traffic flow through the neighbor, lets get this corrected.

This development area in a brand new sub looks like garbage. Someone in charge of this neighbor needs to take action before it gets worse. This is sad

Where is the traffic lights?? This is ridiculous...everyone turning into subs. Someone is gonna get hurt very bad here. What about crosswalk and signs?

Do not approve the proposed campground. It will decrease property value, interrupt the wetlands and wildlife, bring in noise to a quiet and peaceful area, pollute the surrounding properties with smoke, and lead to even more traffic.

Do not approve the proposed campground. It will decrease property value, interrupt the wetlands and wildlife, bring in noise to a quiet and peaceful area, pollute the surrounding properties with smoke, and lead to even more traffic.

No stop signs with all this traffic cutting through from millpointe? Does the township even care about safety issues?

The campground should not be approved based on the current submittals from the land owner. Including, but not limited to, EGLE has not yet submitted or approved any use of the wetlands; security concerns have not been resolved, etc. It is imperative that ALL residents and property owners concerns are seriously reviewed, considered and reasonably addressed.

We are disappointed to see the plans for the large development off of Fish Lake Road. So many residents move out to Holly for the privacy, and the beauty of it (including our family just a year ago!). But these plans don't seem to reflect that. A well thought out neighborhood with trees, nice lot sizes, etc. would've been fine. But these plans seem to be cramming everything in. That could impact the long term future of families like ours here, that value the beauty and privacy of rural living.

We on hidden ridge dr were all told when we bought there would be no houses built on this side of the tree line. Now we are seeing the opposite on the plans shown. Feel like we could have a class action lawsuit since we all paid more for the houses facing the field.

Three story apartment proposed, this is a disaster of an idea, this would be a nightmare for the neighborhood and to the already dangerous intersection at Riverside & Grange Hall

96 apartments, multi story as well how can this even be considered this is terrible for the Holly & the area, traffic is already a disaster

The new Silverman plan is too try to jam everything into a space so small that everyone will be on top of everyone, isn't he the same developer that bailed on Holly and left the other development on their own for a decade?

Oh great Silverman id trying to pad his pockets again and leave the township, but mostly the homeowners to pick up the piece AGAIN! When will the Township realize he is bad for the community, IS the tab for all the water taps paid yet????? OR do we just have to bail teh township out as they maid a terrible deal with him?

This area has been left like dump by the developer right in the middle of a 400K subdivision. 5 foot tall weeds, scrub brushes all over, equipment parts/buckets, building debris and concrete everywhere, and nothing is enforced at the township level, shameful just shameful

Developer proposed GAS station here in the middle of one of the most dangerous intersections in the Township what are they even thinking?

Pray the Planners turn this down completely, before someone is killed there.

A proposed GAS station here, isn't this area dangerous enough to navigate what could they be thinking, Speak out to the township and planners to down this idea down completely.

Incomplete sidewalks throughout this development. Side walks are missing altogether some ending the middle of the street, A few are not not even in front the homes, many just stop in the the middle of lawns, its just a MESS & dangerous for teh children and school.

The previous developers have just dumped debris and back fill here causing elevations issues and water issues for the home owners, the township needs to enforce the cleanup against the security bonds. The owners have been paying to remove garbage & debris already although \$1000's work is still needed the township needs to assist.



**What will this be another Riverside North part 2 mess by Silverman?**

**Will Holly require the Developer to pre-pay all the water & sewer taps or will they let them stick it to us again. Last time Silverman & Pulte stuck our community with the mess and Holly forced the residents to pay it again through the sky highwater bond and rates? This is BAD for Holly!**

**When is the risk or serious injury or death going to be addressed? this area is a nightmare even during no peak traffic time, now a developer is wanting to put of apartments & hundreds of homes what are they thinking?????**

**A gas station here? two are a 1/4 mile away and the traffic here here is a killer to start with? Terrible idea!**

**In the past Silverman stated -**

**Our view of Grange Hall Road is it's really the next M-59, said Gilbert Buzz Silverman, chairman and chief executive officer for Silverman Cos. We do have a great deal of interest from the retail community (and) the market is under served. - Who in Holly wants Grange Hall Rd to be another M59?**

**Patterson School parents abuse the neighborhood parking on lawns, blocking driveways and get abusive when asked to move. Traffic is unreasonable and and dangerous for the the residents during drop & pick up. Why doesn't the school not have a drop off & pickup place available isn't this what our taxes are for?**

**The side walk at Grange Hall & Riverside was removed to cross Grange Hall Rd - WHY???????**

**Developer - Silverman has building debris and massive piles of backfill sitting all around and completely over grown with weeds 4-6 feet tall and the township won't enforce them to take care of the mess???? This is within a completed development and has been this way for years, when do the tax payers get a return for their taxes paid????**

One person left 30 comments; this person's comments were primarily directed at the Riverside development and have been colored blue in the tables to help distinguish them from the overall responses.



# Open-Ended Question Full Responses

*If you answered Dislike to any of the options in What do you like and dislike about Holly Township today why?*

Too many dollar, auto parts, antique stores, and used car lots for our small community. I would like to see more diversity, restaurants and night life/activities.

I dislike not having more choices for public transportation and grocery store availability

Needs larger downtown.

The parks are not well maintained. The Holly beach is about as run down as it gets. And all parks should be free.

Room for improvement in infrastructure and public safety. We like the direction the direction the township is heading. Let's make it better!

The less commercial development, the better. Keep the rural atmosphere. Take a look at grand blank as an example. They are slowly eroding in the direction of flint.

Other than commercial retail, not much opportunity in the immediate area. Commuting for other professional employment opportunities is reasonable, however.

Need to incentives the area to more business with regards to employment as well as services.

Holly has little to offer as far as employment or new housing for young people here. My children are leaving the area for this reason. Also for middle income seniors in the area their is little adorable housing that is not industrial housing like the new assisted living going in. Such as affordable senior living apartments that are not low income.

I would love to see more job opportunities and affordable housing

No gym or large grocery store.

The parks aren't great but I'm hopeful they will improve

More investment into township parks

The only jobs nearby are entry level and don't pay enough to live.

There are no connecting sidewalks in the neighborhoods. Crossing grange hall is dangerous. In addition, people fly down grange hall in either direction like it's the Audobahn. The downtown area is cute, but it doesn't offer anything. Take a look at Fenton and Davison—similar size cities, doing ALOT more for the residents m

Parks are not well maintained for the taxes that are associated. There's no attractions or anything enticing someone to use the parks. Very limited dining and shopping options. Many of these issues are more related to the Village but that's only because the township has almost nothing itself to offer.

Education is the key to our future. Invest in our children, their mental health and education to succeed in the long haul. Otherwise, they will leave.

Parks needs some updates. Lakeside park was updated, but now have no shaded area on play structure and not really handicap accessible.

Taxes way too high for current offerings

Very limited options nothing that stands out and a great place that attracts people. Fenton does a great job with restaurants and bars. Holly has dollar stores auto parts stores. Now get ya drug dispensary. Not a very good look. But that stuff is in the village

A community sport complex/ gym would be awesome

A plan to locate a grocery store into a residential area is wrong, that neighborhood is already a a mess with traffic.

Are water service is outrageously priced.

I find the township to be run by cognitively impaired corrupt individuals. The degree of mob mentality and cancel culture is astronomical. Citizens say something and whether it is true or not it is accepted. Renters with no vested interest in the community say they are doing good things and it is accepted regardless of whether it is true or factual. So many resources are wasted because no one will question people who are clearly con artists .

The public schools in Holly are a joke. The parks are dirty.

There is not enough community programs and the parks and rec is underdeveloped. We need more things, places for kids and teens.

The facilities are not kept up

The public areas around the township and village does not seem energized and inviting for residents to interact to allow outdoor exercise classes like Tia chi, or play chess in summer or for kids to enjoy cooling off by having such things as a water sprinkler area

Or a place where kids can play or older one can enjoy a skateboard park

Quality and upkeep of parks and recreation areas is a major concern. We need more options for our kids - younger and older.

Not enough industry jobs for local citizens in the township

Rental housing is far over priced for the area and or not available enough, as far as parks go there aren't enough maybe add a walking/ bike trail, not enough good paying jobs and fast to many repetitive dollar stores and automotive supply stores in such a small town. You need to get more variety and draw ppl with restaurants and shopping. This will also provide more jobs

I honestly don't know of any parks in the township. I only know of 2 in the village.

Need more restaurants and places for socializing. Reasons for people to want to come to Holly

The schools

I'd like better schools

We need an actual grocery store!!! Too much blight, why are people and businesses not fined?!

No little league fields. Many committees have a sports complex.

There are far to many trailer parks and expanding the east holly road park will negatively impact the area.

I dislike the employment options. The only thing available is retail, I wish there was more clerical and manufacturing options

Too many dollar stores and auto parts and repair places. Not enough unique locally owned restaurants and shops.

Public transportation is practically non existing except fir the smart bus and the time is limited with that. We used to have a Senior Center and classes for all ages offered . Let's copy the Loose center from Linden with all their activities and service's

Not many wee paying job opportunities. Hard to find good reliable transportation for those who cannot drive.

Not sure how the residents benefit from the current services offered by Holly Township. There seems to be more bickering than decision making.

I dislike fact there are not a lot of places to get a high paying job in Holly (I have multiple degrees and can't even get an interview), but why would any industry want to move here anyway? It would make zero sense for them.

Would be nice if the downtown were more cohesive, many shopping opportunities are limited to antiques and boutiques, while some others are hard to find because they are tucked away in odd strip malls or mixed in with residential. Town is too separated between the historic area and the north consumer area. Need to figure out how to bring the two sides of town together, include the city with the township. We should be ONE

Transportation poor all services should be under one roof

The parks here are terrible. we have to go to other towns for our kids to enjoy them

I live across from Waterworks Park and constantly have to deal with huge clouds of dust. My vinyl siding is very dirty as a result. This parking lot gets TONS of traffic, and needs to be PAVED.

I wish our township won't take the tranquillity and disrupt our wetlands by letting in noisy commercial, possible pollution our beautiful township. There are enough businesses, parks and recreation places to go now.

Holly does not attract employers to offer careers to support a family.

The parks are in poor condition overall and the parks commission is a terrible example of government

Seem to have poor school ratings vs other near by districts or oakland county.

I would like to have a choice in utilities i.e. natural gas vs propane and cable internet vs dish service.

I Definitely believe that the public bathrooms need an update with eye appeal, cleanliness, hygiene, and general safety procedures. Examples include: Repainting/retiling, dispensable feminine hygiene products, efficient lighting, new baby changing station, secure locks, visible Occupied/Vacant signs, Odor reducers, and trash cans with lids (used feminine hygiene products). This would overall improve our city's dedication to tourism and relief.

In reference to commercial offerings and public facilities/services: I am disgusted by the fact that marijuana dispensaries were allowed to come into Holly. In reference to parks and open space offerings, Holly Township has multiple park offerings and does not need to consider adding MORE. Traffic is already horrendous, referencing the ease of getting around the township.

Some of the zoning is not done correctly, and you are not using your state land wisely to bring in revenue to the town of Holly and surrounding small towns

Lacking recreational options, lacking public transportation, and the water/sewer costs are too high

I feel the Village is trying to grow into a city, I moved here precisely to get away from a city I wanted to live in a small town or village. With some of the proposed growth I would have to move ... it would be too much like living down state

Tired of dirt roads. I didn't know there were many employment options at all

The township lacks a community center that is truly accessible to all ages, the parks are very run down and the housing options are polarized (either very expensive or very cheap, not much in the middle)

The teachers at the Holly Area Schools are known to be unpleasant in regards to certain students. Fix the roads accurately.

Educational rankings vs oakland county are lower. The new subdivisions are way too close together. It's awesome to have newer builds but now grass and trees defeats that purpose of being in Up North oakland county..

If you attract more 30s somethings and younger families you need a grocery store that. Davisburg to kroger or target were first thing I looked for to move here. Families moving from lower oakland will avoid for no big grocery store.

Not pleased with the marijuana shop's opening

The parks have fallen below the standard you see in other communities, listening to the meeting for the park boards it's embarrassing for the township all together, very sad

The choices in commercial growth shows no class. More fast food restaurants, dollar stores, and marijuana stores is not going to make this town a great place to live. Go take a class from Fenton.

Needs more entertainment and more business

Employment will change because of the assisted living places being built. Morning and evening traffic across Grange Hall to Fenton and Linden from the freeway is a problem. Holly needs a senior

center. Holly Township Library is too small for the things that does, and could do. There should be hard surface SEPARATE biking, and hiking trails to Fenton, Grand Blanc, and the state parks and county park nearby. We need apartments but not density.

The parks are not well maintained, it's obviously not well funded or important to the community. We travel elsewhere to parks that are cleaner and have better equipment. We moved here before having children, but would not recommend this area for young families. The weeds, graffiti and broken/outdated equipment makes the parks unpleasant. It's obviously very low priority in the budget and is disappointing.

I usually drive to Fenton to conduct business as there are more, larger, commercial offerings that I am looking for.

Township offices shouldn't be involved in owning property. It should stay in governing our township. I think the township owns too many properties

Sidewalks are lacking, often old, uneven and not safe. No easy way to get around if you're not in a car. Few jobs available outside of fast food or auto parts stores. I can't say that I know of any community services or commercial offerings.

For commercial offerings would like to see a chain grocery store; ideally Krogers as I do 95% of my grocery shopping outside of Holly and know if placed on Grangehall with all the going home traffic off 75 would be very successful; also would employ a lot more people than our local small town grocery store.

Also as a parent of young kids I think more park space, splash pads, better kept up would give opportunity for outside play.

A store for pot sales, I don't like that! Not many opportunities for jobs.

Transportation is limited to Saginaw going north/south and either Maple or Grange Hall going east/west and too often trains are stopped blocking traffic. There are little to no employment options unless you only want to work for minimum wage part time. The Community character feels run down. Educational options for k-12 are decent with the charter school option in the township but nothing beyond 12th grade. what public facilities and services?

The schools aren't good enough to want to raise my young family in Holly.

Need variety of businesses for employment. Need to spruce up buildings that are run down against code enforcement.

Need more educational and recreation for the lower income kids to get involved with because the kids that surround our sub cause trouble

Need more diverse commercial businesses, besides fast food, car dealers, car repair, dollar stores.

Need sidewalks, & light crossing to Patterson school from the south side Riverside at Grange hall

Need local places where people can take classes from OCC, OU etc at the county rate. Need cleaner public facilities.

Crumbling roads along Broad St. from Milford/S. Holly to Maple are Impassable abhorrent.

Weed shops are disgrace and embarrassing!

Yards are unkept and terrible landscaping no pride of ownership from Grange to E Holly. Dollar stores and dilapidated buildings. All mechanic shops and auto stores. Too many schools — Fiscally irresponsible. Trailer trash everywhere. Make the park usable across from brewery. Bring in jobs, events, and festival

There are very few employment opportunities in the immediate area.. most good paying jobs are in flint or pontiac

Water bill parks need to be more fun roads are horrible stores are horrible need more night life

Commercial offering - please no more dollar stores, car parts or fast food. Or pot stores. A sit down restaurant would be nice.

Need more businesses(jobs) and especially places to eat(restaurants) with all the new houses built in Holly the last few years.

Neighborhood was great until a wedding venue was put in, now I feel like we live in an urban city due to cars being parked all over the streets with not even enough space for emergency vehicles to pass through. Drunk people walking the neighborhoods getting back to their cars after events at venue 111, so loud you can hear their full conversations inside your home. I purchased the home I grew up in, in this town and now I wish I hadn't now.

The commercial properties offered are either old, not unique, and/or are run down. We don't need more development, but what is available needs to be new and unique, exciting, and inviting for visitors, as well as those that live here. We can already go to Fenton and grand blanc for the big box items. Why not make the township unique, and still quaint.

I think the education system could be better

I wish we had a gourmet grocery market or Trader Joes

Holly has gotten incredibly expensive. It's great for tourists & weddings, etc, but to LIVE here, it's tough. There's finally a few farmers market options, & that's great, but getting reasonably priced food means leaving town. The water. The good ole boys system that's still CLEARLY in place. Apparent government waste of resources (ie, farmstead). Township officials shouting, swearing, at & grabbing citizens with little to no repercussions.

There has not been much investment in public facilities and services for a community of this size. The library is small. Holly Township needs better and more regular policing--arteries like Grange Hall tend to be a speedway for those exiting I 75. I truly can't name services provided by the township to residents....there is no trash collection, the county plows snow off the main roads, and parks tend to be a bit seedy.

Public facilities-water quality is poor to possibly unsafe without filtering and conditioning. Even with those interventions it quickly destroys faucets and pipes within our home.

It smells like sulfur at every turn on period for the first minute or so.

Parks are not always maintained-graffiti/ mowing-the new playground is nice for the children. Brush & foliage needs to be removed along Sidewalks for safe pedestrian travel.

When you have a public school that does very well in an area. I disagree with bringing in a charter school. There are many areas that could use a charter school Holly is not one of them.

We need serious work in all areas that I tagged dislike. I hate that we are constantly applying for grants. Like our residents who are always looking for handouts and free stuff. We have way too many trailer parks in this one area. They drain our resources. We have too many low income families. We need fundraising and stop depending depending on the government to help is. Raise our taxes some. Fix the water

We need more businesses and not closed run down spaces. Would love to see more like Fenton and Clarkston. My kids have nowhere to go. When we spend money we don't stay in Holly. We go to other communities which is too bad. I hate that my money goes to surrounding areas instead of staying here. What we don't need is another extended care facility. I have at least three within a mile of my house with a fourth being built. Those are not even full.

We need more personalized training teachers for special needs children , and the mental health for all children in these days the world has changed and it's not ok for the kids to misbehave as much as I see and her about there becoming adults way to soon , these not like we were ever at the same age .

Community Character - too much political BS in the Village, which is included in the Twp.

Public facilities - again, pertaining to the Village - need more than one (locked) public restroom and dirty portajohns.

Housing choices - As a renter, I find changing my housing situation and still staying in the Township to be very difficult.

We need more trails and green space. The trains are an increasing burden on commerce, transportation, and quality of life. There is a quaintness and nostalgia to them. But an entire community shouldn't have to endure the increasing inconvenience of not one but two tracks through town just because a minority of model train lovers might get hurt feelings.

Lack of public parks and trails.

Taxes and water are too high

There's no public transit and little in the way of work.

There is a complete lack of variety in the businesses here. It is a shame that a person has to go to Fenton, Clarkston, or Grand Blanc for retail shopping, doctor visits, and restaurants.

Would like to see a bigger and more modern library, and a community gathering place.

Would like to see less automotive and dollar stores. Would like a new grocery store and salons.

Parks could use paved trails, updated playground equipment, sports fields.

There is nothing to do everything is old must travel to Fenton or GB for anything house at small with little new developments with 4 plus bedrooms

More variety of stores in and around the township. A larger grocery store (Kroger?) Would be great.

I would like to see more public use of parks spaces. Leave the beach open to the public. Let the people swim past 4' water depth.

I'd love to see the township offering more park spaces, looking forward to the farmstead project.

Offer more open space offerings and consider more township, not private, parks.

Keep the 5 acre minimum for land development to keep our beautiful rural landscape and stay true to Holly Township is Up North.

Connect with Fenton , Grand Blanc ,other nearby communities, for walking and bike paths

Grocery shopping is very limited, food (restaurant) options limited, abandoned buildings are eyesores

The township seems to be lifeless, dated and not thriving like neighboring cities. There is a heavy concentration of automotive business and fast food chains. Lacks major sit down restaurant chains and has eye sore buildings.

We need more housing options that arnt trailer parks and apartments and we need better parks

There are virtually no options for retail shopping. Nothing for clothing, shoes, appliances, etc.

The roads in Holly and surrounding areas are absolutely awful. It's like they don't even think they need to be fixed and the very rude drivers that are in Holly Michigan.

I wish we offered more programs for the township parks.. the Sorensen park offers a few programs.. but I wish we could get back the sports programs we used to have for adults.. and more adult enrichment!! Maybe a Holly Township park day! Not just all the village days.

Disappointed to see holly caving into the Marijuana dispensary industry.

Seems like we need to keep some open space instead of building and developing every inch of property.

N Holly rd is terrible for traffic and accidents.

Too much negatism, and lack of interest in keeping property in good repair..Junk on curb throughout village and townnship all the time.

There are plenty of events that happen but not enough community things to enjoy regularly like a community center or trails. Work and housing options are extremely limited.

Not enough business

Parks are poorly maintained. All public restrooms are a disgrace.



*Do you have other concerns that are not listed above? Open response.*

Promotion of business and industry not in the antique business.

No.

Holly twp needs Holly Police to be in in our sub of Gardens of Riverside. We have had many arson fires in Gardens of Riverside sub that neighboring kids have come in here & started. A lot of kids from village of holly & oak street come in here, when we call msp they dont come here fast & dont patrol when we ask. We need public safety in here.

Our sub is going to be expanding also. We need to feel safe.

We need a decent grocery store in Holly.

Need to reduce the cost of utilities, more specifically, water/ sewage cost. Way too expensive.

Local police coverage for the township is a major negative, if a real emergency occurs waiting for MSP due to the territory they cover is not practical

We need a decent grocery store that everyone can afford to shop at

Light Pollution!

Let's have more opportunities for state of the art high tech businesses to move into the township.

Please get the calcium out of the water. It is ruining my appliances.

In general Holly is blue collar and run down. Around town you see run down houses, abandoned businesses, public facilities not maintained, and run down trailer parks and apartments. The general character is one of a town that is just hanging on. No good markets or places to shop. Only one good restaurant.

Keeping gravel mining companies (specifically Aldridge, aka Flint Sand and Gravel) adhering to our zoning ordinances. Fines should be instituted against them when they knowingly violate the ordinances, at which time they are closed down until they rectify their blatant violations.

The lack of police patrol other than State police. No local department nor a contract with the County to have a substation hurts those that are not within the Village of Holly portion of the Township.

We need a Planet Fitness or Anytime Fitness. As well as a grocery store like Meijer.

The weed places bringing in negative traffic and endangering our safe community.

Additional retail, jousing, apartments etc should not replace nature/trees by Patterson.

Like stated above. Investment in upgrading parks

Bike lanes and sidewalk to Fenton!!! Cheaper water!

Water supply is horrible

There are NO SIDEWALKS. From the village to our neighborhood, the sidewalks are all chopped up.

Keep it rural - i would like to see an OCS D substation.

The price some of us pay for village water.

Mismanagement of HOAs, no township trash disposal service, no immediate grocery store

More involved community, togetherness.

Much of the back roads are dirt. Some are well maintained while others are just potholes or too narrow for two cars to pass each other. Sidewalks from the highschool to the downtown would be nice for those that are walkers. Too many times have I seen kids walking on the side of the road because there is no sidewalk.

I am concerned that if some of the wants of some people become a reality Holly will lose what makes it a great small hometown

Low sense of community by middle and upper class. Too many schools is huge waste of money. Roads are terrible. Get rid of low income and unsightly preying businesses. Retain and recruit middle and upper middle class to get the rift raft out.

Please create a safety path system. Many communities have them and it makes bike riding and walking easier.

Traveling on Grange Hall is already bad some days during rush hour and it's only going to get worse  
Slightly concerned about the three dispensary places. Not only traffic at Lume. But traffic around town.

Library needs more funding for purchasing ebooks and audiobooks for Libby.

Our monthly water bills that the village doesn't seem to care about improving

The farmstead. This Pat Feeney person and what he did and said during a meeting. THE WATER.

We need a right turn lane on Grange Hall Rd and N.Saginaw by the Marathon station in order to facilitate traffic flow.

Local government is not transparent and there seems to be a government culture that is heavily influenced by an extreme wing of a single political party. I don't feel that decisions are made with the residents in mind. Instead, I believe many decisions are to benefit both that particular political party as well as benefiting current elected officials.

Too many areas in the township zoned with a 5 acre minimum requirement. This is not feasible for everyone and reducing the acreage would be more affordable for people to build

We have such a beautiful, quaint and charming town. Keeping the historical part of Holly is important. Allowing not one but two weed stores is extremely disappointing. We can never seem to rid the negative view of what people think of Holly.

Parks need to be disbanded. DPW does all the work. Give DPW more money. Get business interest in North and Mid town. Metered parking for wedding venue. They can afford it. Only ones watering their yard! Hold school board accountable for being in village seniors don't need their own building but teens do. Community theater

Development of recreational businesses that are historically designed to fit the theme of the area

The way the community looks should be improved. The buildings are rundown and in disrepair and no one enforces upkeep. We need new business and life coming in.

Difficulty getting roads repaired properly in a timely manner. Issues with substantial water bill. problem was created before I moved to Holly. Pulte homes default. Why should I have to carry the burden of that? ..

Yes clearing of the sides of the roads such as the corner of Elliott from brush so when pulling out not to cause accidents, a better view point for vision at the what we thought had been fixed the location at Belford and Holly road to go to the national cemetery , dangerous location when turning always ...

There are too many trailer parks in Holly, this brings down the area.

The water cost is also an issue for me. I am not sure what all of the inputs there are for the cost to be so great and then the quality is so poor.

Collaborate with other transportation authorities in Oakland county

Create a permanent Farmer's Market facility

to allow sells of food artwork and maybe stage various events of entertainment such as food trucks -the possibilities are endless to engage the public compared to what is offered now.

The township is growing and the roads need to have room for that. Specifically Grange Hall Road. There are so many new subdivisions and no enough stop lights, sidewalks, crosswalks for the amount of people coming in. Even the nearby areas are growing and also making more traffic on Grange Hall.

Taxes are too high! When will the school debt be completed?

A local gym would be nice. I'd prefer to spend my money in Holly rather than Fenton.

The ridiculous water and sewer rates

Roads and road maintenance are costly and will require a continued relationship with RCOC. It is important for the Board of Trustees to continuously plan for gravel and road maintenance.

Local landscaping.. Fenton and swartz creek look so much nicer and cleaner.

Get rid of dilapidated buildings, clean up parking lots, make businesses empty their trash

Require businesses and residences to maintain curb appeal.

We need something for the teens nothing for them to do just means trouble

Don't increase number of people on Board and Planning Commission.

Ask for volunteers to help the Board and Planning Commission members .

Post planners reports for special requests/applications as soon as they are received, on website and/or facebook site, before meetings.

Discontinue the display of disrespectful flags on Grange Hall Road. Beautiful the vacant land or utilize the space for businesses on Grange Hall headed toward I-75.

Need a good grocery store, restaurants

Poor job of enforcing zoning ordinances. We have a automotive business operating out of a residential neighborhood and nothing is being done to stop it causing noise and traffic problems which have been reported to the township numerous times.

Traffic on North Holly Rd.

overdevelopment

The water is not clean and too expensive.

I Believe that it would be of great benefit to join the village and townships parks and recreation. I think this would be of great value to have a full time person running all the parks fully and effectively.

The growth the township has planned over the next several years is concerning, especially with the new proposed Riverside village.

Our water bills are unsustainable. This issue needs to be top priority for the plan.

The township as whole is not up to speed on modern amenities and job opportunities while balancing maintaining green spaces and historical preservation. Historic feel is great historic thinking and ideology needs work. Also not enough diversity, schools of thought, and non family members running the municipality.

The water bill is terrible. I live in the township and can't get a well. There should be a township sports complex kids can use. Losing the fields at Mark Richtor and not having an alternative is terrible for the kids and community.

Allowing marijuana to be sold in out downtown area was a bad idea. The lume building looks ridiculous. Of the village can't manage itself the township should take it over.

Water bill. This will most definitely be the reason we leave Holly. And mention it to anyone and everyone I know. It's mind boggling.

A community center would be a huge asset. Walking paths in the parks and along streets would help immensely. More public transportation options need to be available. The entirety of Holly would benefit from all local government offices (township & village) being located in one central building.

Preserving agricultural and residential zoning

Blight needs to be addressed more

Township government is not transparent. Board minutes are sketchy and non specific. Important decisions are made without citizen input. E.g. township authorized sale of 49 acres. Meeting minutes did not contain important information like where the property was, what was the bidding process, who purchased the property how much and why did the township decide to sell this property? Smells bad even if this is above board due to poor communication

I'm still incredibly frustrated we have to pay extra taxes for public transportation that does nothing at all for our community.

Just having good people in the board that actually help the community

Please for the love of God repave Broad Street. Entering our community should not suddenly come with a road that is such a disaster.

Join village and township into one charter township.

There's a lot of blight from abandoned buildings especially the one next to the dollar general. The dollar general outdoor area is absolutely disgusting cigarettes butts and liquor bottles all over. The landscaping is terrible. I wish some of the businesses in Holly were held to a higher standard. It makes our adorable town look so trashy.

Please tighten up your restrictions on marijuana grow operations. Not only are we lacks in where we allow these to be and how we regulate them, but the stench that they admit is terrible.

Letting Aldridge gravel pit take advantage of the township and residents. They don't follow the township ordinances and no one stands up to them. We need a stronger engineering company with a backbone to stand up to them, as well as an Attorney who stands up and enforces our zoning laws. As residential tax payers, our rights should be upheld against big business. It makes one wonder who runs Holly Township...or what money is buying and whom.

People move to the Holly area for the peaceful, small town and the natural beauty. Building up Holly too much will create problems with roads, becoming too congested and causing more accidents. There needs to be a traffic light at North Holly and Belford road intersection-

Team up with the Village to bring water and sewer to the Grange Hall / Fish Lake Rd intersection to improve viability of that business district.

The camp site proposed off N Holly Road. That is going in smack dab behind our home. All the noise, smoke (fires), and the trespassing is something I had prayed for NOT to happen. There goes Tranquility and the Beauty of our Township.

Amenities such as larger grocery stores or cohesive buildings and roadways.

Housing that is newer builds but still rural feeling with trees and greenery. .5 or more acres in new build communities. Don't be royal oak, new Housing in great but being able to touch your neighbors window is horrible. Family members live in the newest builds and it's gross how little green there is.

More or safer lighting down main roads and 55 speed limit roads.

Since we are now paying that stupid new public transportation tax, why are busses come to Holly?

I want it to be possible in the future to be able to bring back a general community center that focuses on bringing the community back together. Since 2020, the People have been hesitant to come back to dense population and commerce. If we had a place similar to Fenton's SLPR, we would be able to host Markets and Fairs, bring the Dicken's indoors, have Prom within our community (instead of a country club in Grand Blanc), and provide jobs IN Holly

I wanted to move back to Holly because I missed the quaintness and up north feel. I didn't move back to watch it get over developed like Flushing,

Social life options

We have to rely on STATE POLICE!! It takes a long time for them to arrive.

Holly is unaware of the opportunities they have with all the state, land parks and recreation land that is available. Holly can become a biking destination for central Michigan. The development of a large biking trail system would have a positive influence on the commerce Holly has always wanted to remain small and quaint, because of this, they struggle marketing themselves A biking town maybe the solution If Interested contact 810-577-5230

Grange Hall Rd badly needs a center left hand turn lane. Not only for traffic flow but also safety.

Also bike paths not on the shoulders, between neighboring communities

It would be really useful if Holly had more options for grocery shopping.

I do not think Holly Township should allow dispensaries, as they contribute to marijuana smell in public areas and generally make our community less desirable.

Improving the Vitality of downtown is important to us

Please make it a priority to bring back the bike path connecting downtown to the state park, as was promised by Pulte years ago.

We are concerned about the development proposal for Fish Lake Rd. We moved here a year ago (Iroquois Woods Dr) from Waterford and came specifically for the beauty and privacy of rural Holly. So we were disappointed to see this massive development planned. It just doesn't seem to fit with what so many residents value about Holly and developments like this may impact the long term future of families like ours here.

Suffocating the natural beauty that many township residents love and appreciate. Making the area look ugly by adding unnecessary development & taking away natural habitat for the wildlife.

Concerned about Silverman development on grange hall and fish lake rds. Too much being proposed and not to mention a shady developer who has not even finished a project already started.

Do not put that subdivision in at the corner of fish lake and quick road. The infrastructure and the local residents do not want the traffic, the congestion and the chaos. The township residents moved out of town to be out of town, not to get the town brought to them. Terrible selfish idea. Holly should focus on a grocery store or something that improves the residents life not hinders it.

I am 65 years old and lived in Holly my entire life. I live off fish Lake Road near quick Rd and do not want more development on Fish Lake Road. There is way too much traffic in Holly and Holly Township, already. The homeowners and taxpayers cannot even drive through Holly between 3 PM and 7 PM. please do not allow any more commercial development in Holly Township. Holly Township residents like it the way it is, that's why we live here.

A concern is the increase in traffic congestion and the concern of crime in this economy.

Need subdivisions are wonderful but food for thought on acres. All these new extra tight subs are gonna bring people but grumpy ones with traffic and apartment size lot sizes. Can't even fit a driveway between the houses. 1 acre or even 2+ acre subs could really set Holly apart! Such a nice location with work from homes people now. It's less money per sub but keep the up north feel and beautiful landscape and attract new families! Keep us unique!

Let's maintain the rural atmosphere of the township. In the coming years it will be a very unique and special area.

To keep what is left of our open spaces in the township left to nature. That is why we live in this township.

This town is fine for those with their own transportation just passing through, but from the standpoint of enjoying walking or biking, especially with handicapped friends or small children, the poor repair of sidewalks along many streets makes it challenging. It's not a place I would invite friends to visit, it's embarrassing to see the blight along Saginaw St (midtown area with abandoned/neglected vacant properties such as former car dealership)

Getting our police dept. Back. too many things not enforced by contracted help.

Clean up, pretty up the main strip that leads you to downtown. Bring in better businesses like restaurants and less fast food and/or car places!

Yes tree trimming!! Academy and fish lake, looking towards the tracks.. trees have needed to be trimmed for a few years.. also a signal at the top of the hill on Fish lake for when there is a train at bottom.. it's hard to stop in the winter and if you don't know there is backed up traffic from a train it's always bad. Combine the village and township offices. Just the building, not the government.

I'd like to see the township be open to splitting parcels to smaller than 5 acres. It's unfortunate that they wouldn't approve a request because they lost out on 4 different property taxes by denying the request. I won't be wasting my time or money again trying but for other potential families I'd like to see it change

Do not like the plan being talked about to add commercial and retail space by Patterson elementary. There is already too much traffic and congestion there

A gym! Planet fitness or anytime fitness so our community can stay active without having to drive to grand blanc or Fenton, also could use a meijer or kroger

The housing development for the riverside north community. The plans submitted include a grocery store, gas station, assisted living and newer homes. The grocery store and gas station pretty much inside the neighborhood would bring property value down significantly. If the plans get approved, I will put my home up for sale immediately.

Too bad we can't have a trolley from Holly to Fenton.

Traffic gridlock during peak hours along Grange Hall Road from I75 through to Fenton. Over development of areas for commercial and residential that will increase the impact on infrastructure and services. Master planning future areas of commercial development / residential to areas able to handle the growth.

***What is one change that you believe would improve the quality of life in Holly Township?***

More bike lanes and bike routes

A decent affordable grocery store that everyone can afford to shop at

Diversified retail to fit the needs of all.

End Light Trespass!

Community pool and gym/ rec center, fix uneven side walks and trim branches hanging over side walk. More resident related business, up date and repair old buildings down town.

Maintain rural appearance, control reduce blighted property.

N/a

Don't bring the big city here-that's why we moved here in the first place! You are wrecking Holly!

New businesses need to move into the area. To help create jobs and tax base

Attracting larger companies that offer higher salaries and benefits that give residents a higher standard of living.

No pot sales

A senior discount on property taxes. Police patrols.

Dis-allow dangerous dog breeds such as pit bull

Better regulations to reduce junk and clutter on properties. -- drainage ditches on gravel roads --

Paved trails to link residents to downtown, library, beach, etc. 4) contract Sheriff's services

Become a Charter Township.

Expanded parks and recreation. Facilities, programs, community spaces, preserved land and parks.

Get water/sewage costs down.

Stop being so obsessed over the barn on North Holly.. get back to the community fun stuff!!

Better grocery store options

senior center; youth center

Paved trails and better parks. A community center. More options for housing. After the 250-300k mark, there are not many options for houses.

New board members

**Not be on village water**

**More access to public transportation.**

**None**

**Township wide waste disposal.**

**Have an open mind. You won't please everyone but there needs to be improvements made to help all ages.**

**Improved Senior/ community center**

**Less LOUD republicans. More sidewalks and community green spaces. More cool places to eat and things to do.**

**Water, blight. Village and Township should merge.**

**Better water quality and pricing.**

**Better access to police when needed.**

**Keep it the way it is**

**Gym**

**More things to do at night - later events for those who work**

**Holly has a reputation of being a hillbilly area and it shows with the type of stores and lack of planning or zoning. Mostly a village issue. We need the sheriff's office to take over police service**

**More restaurants**

**Fix the water**

**Doctors offices and urgent care center**

**Pay our first responders more!!**

**The grange hall traffic especially at patterson & riverside is dangerous this needs to be addressed**

**Our water rates!**

**No opinion on this**

**Clean up the run down facade look if the businesses along grange hall road.**

**Nothing, I along with my family like it the way it is, if/when things change we will move to an area, that is like Holly/Holly Twp. now.**

**Emphasis on kids and things for the kids in the community. People don't want to invest on the kids beyond a few sports and then get upset when kids are bored and getting in trouble.**

**More grocery choices**

**End the corruption**

**Less citizen apathy and more involvement in local government. I also believe that robust public transit connecting to both Oakland and Genesee routes will be a huge benefit.**

**more parks and access to public spaces**

**Keeping the up-north atmosphere by not allowing over development in congested areas.**

**Improving the public utilities, especially the water quality.**

**No more trailer parks. Update the ones we have.**

**There seems to be an awful lot of accidents in and around town.**

**Getting the quality of the water improved. I have lost more fish because the water cannot be regulated correctly. Oh, and I think the water tower should be paid for by now. Lower the water rates.**

**Being able to get to all needed things within the community and not just the tiny overpriced grocery store.**

**If we were able to use more local businesses to support them in there dreams to be a business owner .**

**Stop putting calcium chloride on the dirt roads. It is a complete waste of tax payer money and provides no benefit. There will always be dust on a dirt road.**

If everyone in the Holly Township government was replaced.

Development of public parks and trails.

Lower my taxes!

Quality care for our natural resources

Cultivate chain retailers and restaurants

The attention to recreational spaces including the shiawassee river

Better upkeep of the roads...

The low income housing that draws in the riff raff. We need to embrace the historical value of the township and less on trailer parks and dollar stores.

Address water concerns.

test

The township has almost offers for restaurants/ bars, look at Fenton they simply blow us away

Attract some high quality restaurants and retail shops.

A night life entertainment

If the Holly school district is building a new junior high, then the old junior high would make a great space for Holly Township, RoseTownship, and Groveland Township to provide services.

Enforcing blight ordinances

No changes, Holly Township is great!! Thank you for the survey!!

Better parks.

Living near other basic amenities (e.g., a grocery store)

Take advantage of the the great outdoor opportunities in the area (state parks, camping, ORV) develop outdoor retail, outdoor tourism, markets etc. Take emphasis off everything being historic.

Bike paths

Economic development of downtown.

Have the highest-ranked public schools in Oakland county and I would move back in a heartbeat

A police dept in Holly Twp.

Access to middle income housing for seniors

Clean up, pretty up the main strip that leads you to downtown. Bring in better businesses like restaurants and less fast food and/or car places!

An actual Community Center with offerings for the community. Educational courses. Activities. Job opportunities. The Karl Richter Community Center was a joke. It may have started with good intentions.

More community activities. Assistance for those in need.

I don't live in the township and most likely won't now due to the inability to be open to our request to split a 5 acre parcel into 2 equal 2.5 acre parcels.

No change

A gym!!! Better grocery store, meijer or Kroger

Improving the toxic, expensive as hell, crap quality water we are supplied with. It's abysmal and not something we need to be subjecting our children to.

More food options, a mix between sit down and unique fast food/coffee shops.

Stop further housing developments until current spaces are all filled and maintain the wooded lands and wetlands we currently have. No new developments should be approved.

Gym.

Infrastructure improvements

I believe keeping the status quo is the best for the city

Na

A vital, robust Community Center



More traffic tickets written.

Uptown retail options

Cheaper water. Bike lanes. Sidewalk to Fenton!!

Adding a grocery store, plenty of room on the corner of grange hall and fish lake

Less secrets & more open communication.

Food store with better price

Upgrade downtown and don't agree to put gas stations and grocery stores in neighborhoods

55 and over community living. Affordable

Sidewalk on e holly road. Going into town from the highschool. If Holly is going to continue to grow, this is a must for families and kids.

Stop trying to build more residential and commercial buildings. It's fine the way it is.

Sense of community and less trailer Trash allowance and mentality

Better choice of everything fix old buildings

Adding more parks and hiking and biking trail systems.

No more commercial properties. You can't fill the ones available now.

Consider that even though the town is being built up, people still came here for small town living and it seems like those days are behind us. Time for a new place to call home!

If the police department offered services to all of holly and not just the village

No suggestions

Sidewalks

Better treatment of citizens by public officials who might dislike what is being said about them.

Strength tempered with reason and patience. Kindness.

Recreation activities

More affordable homes with land

Decent water. Less mobile homes..more small single family homes like 1100 sq ft starter home with a park in it an affordable grocery store. surveillance cameras. Cleaner beaches with clean bathroom.

More community programs for kids and teens. Support from the township for ayso and little league.

Work harder to limit any more expansion or new mobile home sittings. Consider more restrictive zoning and more townhouses with green space. Worked on adjacent township master plans for 40 years.

More events downtown. Better advertising of community events.

It's not bad the way it is, thus why I still live here. ;-)

More social spaces to gather that don't revolve around alcohol or marijuana.

There needs to be a closer MSP command station. I understand you have to call the station somewhere in southern Oakland county. There used to be a command station on Grange Hall Rd and Dixie Hwy.

Consider combining Village and Township government and becoming a city.

The safety on the roads and sidewalks. I also think the towns around us put more into their landscaping and decor on their sidewalks, streets, and such. When we drive through Holly we don't see that.

Public transportation. It's very hard to live here if you don't drive.

A community center.

See above, clean up trailer park and how dirty everything looks outside of the historic area

Require existing businesses to maintain a attractive facades and landscaping.

Na

Having shops that meet daily living needs instead of specialty shops.

More handicap accessible parks or facilities owned by Holly Township.

The types of stores and restaurants you allow to operate in holly

Emergency services

Anything And everything nothing good around have to leave holly for anything

Traffic flow along Grange Hall road.

Better public transportation available for all. Within the township and to and from outside areas. Including local and nearby international airports, bus stations, train stations.

keep the beautiful rural landscape

Getting rid of unused buildings

Improved student grades / academic performance and/or discipline for middle and high school students.

New business.

Having our public streets plowed in a more timely manner so residents can get to school or work.

More grocery options

Love the downtown. No changes I can see

Lower the water bills in Holly Township. You can't even afford to maintain your lawn.

For us code enforcement

No campgrounds allowed on Holly Rd.

Pave Belford road

transportation safety

Stop developing. We enjoy our property and country atmosphere. Stop trying to ruin it for the sake of development and tax revenue.

Paving dirt roads, or at least smoothing them on a regular basis!

Knowing that policing is close enough to respond without it taking 20 mins or more to respond,

Leave nature alone

Better shopping opportunities beyond the current demographic of the amount of discount dollar stores that are here.

Get rid of mobile homes

New ideas.

Less attention paid to Village issues.

Higher end restaurants

A more attentive government. Many things were missed in the Riverside North subdivision that has left it's residents in a poor position.

Better quality and cheaper water from the village. The water rates are insane and the quality is poor.

**SOLVE THE EXORBITANT WATER BILL CRISIS**

Not much that can be done, however, traffic has gotten very thick and constant on N Holly Rd is the main thoroughfare which is where we live. Constant humming of traffic. Makes me consider moving.

More economic opportunities

Better roads. The roads that lead out to Dixie Hwy are in rough shape, most notably Belford & Lahring. The lack of internet accessibility in areas of the township seems a bit out o touch.

Taking over the Village of Holly.

Grocery store, less blight, less vacant buildings. Businesses we actually need, no more auto, dollar stores. Low income areas= dollar stores.

Better doctor office choices. Also, change it back to 4 lanes and get rid of the unused bike lanes in the Village.

Too many improvements can be made, limiting to only one is useless. Let's start by making all necessary functions, like government offices, in one easy to access place instead of spread out.

More community activities outside of the village

Having the township and village offices in same location

Transportation and arts and craft classes

Transportation

Job opportunities that actually support living

Improving existing sidewalks and putting in sidewalks going East down Grange Hall and East Holly Rds.

Government leadership putting the township citizens over hard core right wing Republican politics. We don't matter. They worship at the altar of Trump.

Lower property taxes

Shopping options. Clothing and better grocery options.

Leadership

A fully functioning, manned senior center. Like the Loose Center in Linden.

The city and township are too separated and things are all over the place. This community set up makes no sense

Having people that love it as much as the rest.

Remove or rehab all the dilapidated buildings/homes around town.

Work better with the Village administration.

Village and Township officials getting along better. Perhaps combining offices in one building would force more cooperation.

More parks.

Not sure

Tighten restrictions on marijuana grow operations. Lower school taxes.

Again, getting Aldridge Sand and Gravel To keep a fair distance away from residential properties to keep our breathing air clean.

Public transportation

Holly is becoming too populated and there are not enough safe and well maintained roads to support the amount of people in the area. Natural areas are needed to maintain a healthy environment.

Not sure.

Easier access to amenities

Better parks. Better sidewalks

Vary the types of businesses coming in.

Visionary leadership

Township and Village merging to share resources

No more developments

Better public transport, older persons community center, classes for activities through a community center( quilt class,swim class, etc)

Growth in businesses a larger community center location/ park social space close to downtown

Entertainment, dining, social activities

Updated infrastructure i.e. utilities.

Paving some if the gravel roads

I think having somewhere for different age groups to spend time together that isn't the park or a restaurant. (Like during the winter months, especially) This could prevent loitering/provide commerce

**Stop trying to drive out the wild life with developments.**

**Holding developers accountable, incomplete projects, township officials not taking accountability for this.**

**Grange Hall road!!!**

**Discourage the WEED business before to destroys the community**

**Stop the commercialization of the township.**

**Denial of the campground by Kennedy Lake.**

**It has been well proven and documented that towns that embrace bike, friendly atmosphere, and create a wide range of biking trails. These towns are more friendly healthier, and the economy does well T**

**Senior living, independent Senior condos or apartments**

**Senior Community Center with activities**

**Getting rid of blight**

**Housing affordability**

**Greater focus on community building, especially for younger crowds.**

**New life in downtown area that would draw people in similar to milford downtown area**

**Stop bringing in developers who will ruin this wonderful magical village**

**A bike path**

**Offering yard waste pickup**

**Consider creating a minimum requirement for property size so we can avoid losing the beauty, privacy and appeal of Holly Township. Please consider what your current residents value about Holly.**

**Leave it alone. Don't add more unnecessary living spaces, instead focus on improving the places that already exist. Put energy, money, & focus into what we already have instead of what we don't have**

**More transportation,**

**Not having school traffic go thru a neighborhood it doesn't connect to.**

**Keeping the subdivision out of holly.**

**Stop the development, people live in Holly, because they like a small town without congestion. Please leave Holly as a quaint little village**

**To change the minds of people that think Holly needs to become the new Fenton. The rural, small town feel that Holly has always had is one of his greatest assets.**

**Keeping up with parks and playground in the area, Lakeside looks beautiful but maybe adding to downtown Crapo park since it gets all of the traffic from the farmer's markets.**

**A website that encompasses all township services and charities. One place for relevant information. Include links to local businesses.**

**Nicely paved or expanded main roads for traffic during busy hours.**

**A network of bike paths would be a plus.**

**None**

**Make the schools outstanding and involve the community in all ways possible**

**Improved traffic control on our main arteries into Holly ie: North Holly Road**

**Fix the pot holes and rough roads, Milford road is really bad.**

**Tell the residences of on going and upcoming situations (boil water and road closures).**

**Designated area from grange hall through to 3 blocks south of downtown to increase beauty and opportunities to draw in more commercial opportunities.**

**The ability to trust the township leadership, currently none.**

**Add more businesses**

A community pool where I could buy a seasonal membership.

Lots of empty land that could clearly be used for more manufacturing and high tech businesses.

Time to move away from that sleepy town, backwards thinking.

Very good now

Becoming a charter township, investing in better public safety.

Getting businesses to fill the vacant buildings already in downtown with incentives from the Govt.?

Widening Grange Hall Rd. through Holly from Fish Lake Rd. to North Holly intersection.

Calcium in the water.

Add Garbage pick up services!

Stopping gravel pits from creating dust on adjacent homes and properties and violating boundaries.

People maintaining their home and yard.

Public transportation

We need holly police in are neighborhood right now we have state police and take long time when you call them and they really don't care and we have lots problems with some teenagers come to neighbor

More things to do

Investing in parks and library. More programming.

Get rid if the rennasaunse carnival

maintain roads, public safety with police protection and enforcement.

Because of the increase in traffic in New developments we need an increase in traffic lights

Be more attractive to businesses to come to Holly.

Grocery store, restaurants, face lift (looks run down), the water is awful!

Having transportation for seniors especially late afternoons or evenings. more senior activities and a place like the Lose center in Linden.

Get N.O.T.A to service the area also I'd like to see us look more like downtown fenton

Better care and concern for our natural resources.

Improve traffic flow on grange hall rd between n holly rd and riverside dr, by, adding a turn lane.

Also find a way to improve the traffic flow at Patterson elementary and Sherman middle school.

To be honest there needs to be more things for the kids. To many times have I heard or seen groups of kids doing reckless things. I would suggest a skate park close to the police station.

Take care of the empty abandon buildings. Draw in business that will improve the quality of the area.

Things for the kids/teenagers

I see them always walking down the road or messing around in neighborhoods or in stores.

Also could use another grocery store other than holly foods.

Water bill

Focus on expanding our downtown and increasing the fun. I love our downtown, but I think we need more to offer. Rather than more fast food and weed shops, maybe some additional restaurants & fun stuff

Better water quality and price!

Better roads - the dirt roads are terrible

Holly Township needs an identity, I am not aware of anything that the township does - only the village.

More recreation rentals. Later business hours. Tree plantings in vacant areas. Require more trees with new development.

Cheaper water

Job opportunities for more people.

Paved roads to give options for travel.

Three or four lanes Grange Hall Rd. From I75 to Fenton

Pave Quick Road. Include sidewalks.

Idk

I can't think of anything at this moment.

As above, more abilities to socialize in Holly is sorely needed

Bring in more retail.

Handicap accessible buildings.

Put a plan together to grow the community much as Fenton has grown. Would like Holly to be a class act where people come to shop and eat.

Better roads and traffic conditions.

Better water

More parking

Less commercial and industrial zones

*In your opinion, what is Holly Township's greatest strength heading into the future?*

Small town, country living, it's green spaces. Up North in Oakland County

People coming to community and hopefully attracting new leadership to replace the current within the township

The state park is wonderful.

Strong police presence.

Not congested

Plenty of green spaces

The country side and quality of paved and dirt roads have been great over the years

Accessible to shopping, medical care, jobs, etc since near to both Flint and Detroit metropolitan areas

Unique also twp. Has open well managed government operation.

Leave it as a small town. We do not need more fast food etc. Fenton is close by for that.

The boards willingness to listen to their constituents.

Outdoor tourism - hiking, kayaking, camping, ORV, mountain biking etc. Huge opportunities here being completely overlooked.

Location

Separate from Detroit metro area. Rural areas.

All the recreation available nearby. It would be amazing for Holly if the train track would become a rails-to-trails someday.

Location; excellent fire and EMT response; good downtown .

Remaining mostly rural.

The new communities moving into the area with new homes and young families. Also the seniors in the community who want our area to be safe. As a senior i want a community i can feel safe in.

Right now I don't see any. Great strength

Pleasant, rural community

Downtown

Potential for growth. There is a lot of space that has not been developed.

The community members care!

New board members

Nature

|   |
|---|
| Great community of people   |
| Activities downtown   |
| Township officials  |
| People  |
| None  |
| Country setting   |
| maintain its rural atmosphere. enforce blight ordinances fairly.                                    |
| It's small town character.  |
| More housing  |
| Small town charm  |
| Parks   |
| Downtown  |
| A strong foundation.  |
| School  |
| Up and coming residents.  |
| For families  |
| How quickly people are to help in a disaster. Very great sense of community.                        |
| Downtown is great. Just wish there was a gym  |
| Our people  |
| Na  |
| Parks and recreation  |
| Small town feel   |
| Staying small and semi rural  |
| We're still a village. Keep it that way.  |
| It's residents  |
| Open land, country living   |
| The community, when there is a need the community always rises to the occasion!                     |
| Quietness next to 3 bigger towns  |
| Not crowded   |
| Its small town feel and lack of traffic.  |
| Community feel.   |
| More police   |
| Small town feel.  |
| Natural resources   |
| Our school district is fantastic  |
| The beauty of the environment, state parks and rural character in a mostly urban/suburban county.   |
| rural feeling   |
| A solid Master Plan going forward to preserve the quality of our lives.                             |
| Small town atmosphere   |
| None  |
| Current forces working together   |
| I love living in a small town and enjoy the character here.   |
| Great fire and police protection, great access to interstate hwy., with multiple recreational areas |
| Small town warmth   |
| Small town, basic necessities. Too much biz brings unwanted traffic and people.                     |
| The desire to improve   |
| Their ability to drive people out of town and or make them hate living here.                        |

|  |
|--|
| NA   |
| Safe   |
| A community that cares   |
| Hopefully the desire to get better eating establishments that will draw visitors. Get a Meijer closer for us   |
| The downtown area with the Battle Alley ambiance   |
| Na   |
| However, we need the Roads to make travel easier   |
| Current government.  |
| Small town close community   |
| Price point for housing and land are much lower than surrounding communities IE fenton, Milford, Clarkston   |
| Open land  |
| Geography and rural setting  |
| Idk  |
| The high school campus is very nice. Test scores are very good.  |
| I'm not sure   |
| Love the town, activities in downtown. Lots of family activities.  |
| Room to expand business and dining opportunities   |
| Natural beauty   |
| natural resources  |
| Natural/untarnished land and natural/untouched resources, and the natural beauty of the landscape. (The marriage of budding commerce with the retention of natural landscape). |
| Bring a rural community for people to enjoy nature and quiet.  |
| Green space  |
| Open space to live.  |
| The residents.   |
| The up north feeling   |
| Brand new leadership across the entire board. Transparency. No back room deals   |
| No industrial businesses.  |
| It's citizens and sense of community   |
| The Township offers opportunities for industry with the ability to maintain a small town atmosphere.   |
| Rural area. People move here to live a country life.   |
| Lots of recreational activities.   |
| There's no need to leave Holly for shopping, there's something for everyone.   |
| People want changes more now than ever   |
| Maintaining our parks & roads  |
| The people. One big huge family.   |
| Great people   |
| Community  |
| Opportunity to grow and diversify.   |
| Keeping the small town feeling   |
| The rural beauty and state parks   |
| Have no idea have no idea  |
| The state park.  |
| Open space   |



The village of Holly and the wonderful events and activities they support; the Renaissance Festival; off-road park; parks/trails etc;

The people are great and they care about what happens to this area.

Community

Its uniqueness in rural life and values but that is fading quickly.

Low taxes.

It's rural identity.

Wooded rural land.

Not sure

The people who live here.

It hasn't any when it can't stand up to big business.

Not many

Preservation of the beauty of the lakes, streams and nature.

Working with the Village.

Parks

Nice people

The schools.

Small hometown feel

Sense of Community

Close knit family living

Village

Being close to Fenton, we could use some of their vibes for new community and younger family growth

The public

Community

Recreational activities

Maintaining and managing the Farmer's markets and craft shows, and providing a new school that isn't Sherman Middle, or Karl Richter

Knowing when to say enough is enough with the development of our green spaces.

the residents that try to raise the bar within the community

Being able to own pieces of property that are large enough to have privacy and quiet.

Quiet, relaxed, carefree country living.

The small town Community. In order to keep this small town atmosphere, but grow economically Holly needs to market its self with green activities, such as biking trails

Our location, rural areas, lake and parks

N/A

The people of Holly really love the town and come together to support each other when needed.

Cute downtown with lots of potential

Lots of open space and recreation especially all the wild life

Small town values

Nature and not an over abundance subdivisions

Stability. Holly has always been a town where things change, but always stay the same. There's no need to grow and get bigger, you can always grow and stay the same.

The open spaces and rural atmosphere. It is increasingly rare to have that in Oakland county

Natural spaces, less density

Low crime rate

Parks and outdoor gathering areas

**Space**

**Communication and agreement to work toward a better community**

**Growth potential and our location. Builders could offer the kinds of homes young professionals need.**

**No too many not wanting change**

**Location and atmosphere.**

**Location**

**Land that's available to expand commercial business to create jobs**

**Location between other great community Clarkston, Goodrich, Fenton, Grand Blanc that have transitioned to communities with higher standards of living as examples.**

**Maintaining a quiet country style of living.**

**Great school**

**Downtown development.**

**Keeping the township a bedroom community and offering a good solid education in our schools**

**Beach. Parks. Lakes n wild space**

**Strong community identity**

**It's a beautiful place to live with a lot of room to grow.**

**Not a busy city**

**Open land to build on, and moving the offices**

**Events downtown**

**Land and money to grow**

**Community involvement. So many people care about this town.**

**None**

**Being more rural but close to larger towns**

**Stay small.**

**The location. You can easily access two major highways and lots of shops without things being too busy right where we live.**

**Rich open spaces and options for outdoor recreation**

**If we had a gym it would attract more people and add a few jobs.**

**The area and people**

**Sense of community**

**Nana**

**Abundance of public lands**

**Staying a small quiet community.**

**Location**

**The people are friendly.**

**It's downtown. And the farmers market**

**Family involvement**

**New, young families moving in.**

**Room to grow**

**Safety**

**The rural living without having to live a long way from big box stores**

**Small town feel**

**The churches working together to unite the community.**

**The area itself**

**I do like the parks and walkable areas downtown**

**DDA keep it up! Stay classy. -get rid of sloppy bums**

Charm

Hopefully to keep the rural atmosphere that is already in place

To listen to the community

The opportunity to grow

None

Na

The township leaders seem to be doing a great job.

The small town feel. The weekly activities and maintenance of the town are definite plus.

Unique business, clean recreation/parks, updated website

Community

Parks

It's a community that will pull together in the darkest of times and lift up people in need. It's full of people with big hearts, regardless of their bank account. Easy Shiawasee River access.

Keeping it rural!

The beauty

Small town community and events to bring people together.

Small town feel

The community spirit is very warm and welcoming.

It's strength is in its people. The citizens who care about the safety, beauty, and the spirit of Holly.

New housing bringing in new growth and tax payer base

Looks like perhaps more income coming our way from new business soon would like to know the plans for this what will be I'm sure profitable one .

Land

We enjoy the tranquility and peace the area offers to us.

We have climate resilience that many communities will struggle from in the future. Keep Holly a natural paradise. Please regulate water and soil quality more stringently and protect our natural areas.

Holly has beautiful open land space and lakes I pray that this does not get compromised with developers want to over build commercial and residential buildings and houses

The parks

Hometown appeal and historic homes, downtown.

Continuing the small town feel. But it needs to be more appealing. Other nearby towns are much more attractive.

The large amount of open space.

Holly Area Schools

Recreation

Have no clue at this time..

Our youth and family cores camaraderie .

Small town

Not sure there are many

Lots of natural recreation options.

Up north beautiful landscape

Development opportunities.

Lots of room for expansion

Nothing

Small town

Hopefully trying to keep the feel of Holly Michigan

Quaint area and feeling of community

I did not see us heading into a better future with a campground near my house.

Can't think of one

community

That they a nice balance of residential, commercial and natural resources all within the same community.

Strong leadership with a vision for the future.

None

Community and culture

The community is generally very kind and considerate from what I have seen so far. I think the people of Holly \*like\* Holly and want to keep it nice.

Our downtown is exceptional, as well as the farmers market

That it is a beautiful, rural, quirky, small town community. If it tries to mimic a big town, it will lose what makes it so special and draws people to it. Bigger isn't always better.

Improving on spaces that already exist. Holly doesn't need more places being built we are fine how we are now. If people wanted to live in a cramped area we would move to fenton.

The people

Nothing if they let Silverman have his way. Ready to leave now with what was passed yesterday

None, Too much congestion,

Creating opportunities for us to grow as a close community of individuals.

Location

Being oakland county but so different from south oakland county chaos

Up north feel . And still convenient to I75, 23 and 69 .

Keeping parks and Rec a priority. 4th of July fireworks on Bush Lake. Having multiple housing options. Low taxes.

Hopefully keeping the area country not commercial. Residents come here for the remoteness & country life. Many will leave if that is disrupted.

I don't know

Downtown

N/a

The feel of being up north without driving for hours.

Continue community events for socialo

Small town feel

Historical atmosphere.

We are one of the last buildable spots in Oakland county so we have the ability to plan for that by adding parks and modernizing the library.

The area we live in - small town feel

Nature - up north feeling in Oakland County.

Small town feel

Rural Character

Land and opportunities for growth

Strong sense of community

Small community

Rural lifestyle with Character

*In your opinion, what is Holly Township's greatest weakness heading into the future?*

**The push for high density housing & Development**

**test**

**Holly lacks new vision, would much rather see restaurants and night life verses barns, really barns are anyone's real interest??**

**Lack of basic living essentials like grocery store and public transportation**

**Lack of diversity within our types of commerce**

**Too many dirt roads.**

**Again, Taco Bell's in dollar stores are not going to make this community attractive. The leaders in Fenton are doing a marvelous job.**

**Behind the times**

**Accessa from I-75 to US-23.**

**Losing that small town feeling and becoming just another part of a big city urban center.**

**Indifferent leadership within the village limits**

**No weaknesses Holly township is great!!**

**Not incorporating and not becoming a city. A bigger corporate tax base may encourage expensive infrastructure development and overall improvement. The village is too old school and everything in the village is falling apart and unsustainable. Time for some serious upgrades within the entire community.**

**Infrastructure**

**Poor gravel roads and overall increase in traffic on our major roads**

**Poor maintenance of parks**

**Lack of high speed internet throughout the township and this corner of Oakland County.**

**Control for future residential housing developments**

**basic amenities (e.g., a grocery store restaurants, social opportunities )**

**N/a**

**Adding the cannabis stores & fast food**

**Small town business, small town thinking**

**Lack of economic development. Lack of ability to get around other than by car. Too much worrying about social agendas.**

**Calcium in the water. Filters can't keep up with it.**

**The community\township needs to allow growth and set a goal high enough to promote real change.**

**Keeping up with the demands of an ever changing world.**

**Selling pot**

**Lack of plan to grow downtown area**

**Planning**

**Homes and yards appearance**

**Not being concerned with commercial zoning ordinances.**

**Possibly ignoring the request of residents.**

**Watch how many trailer parks are allowed in future**

**Job opportunities; more/better green spaces; more cooperation & shared services btwn village and twp; no newspaper**

**The quality of the public schools**

**Public transportation**

**We a real grocery store**

**Being part of the village.**

**Economic and community planning**

|   |
|---|
| Keep up with th traffic as the town grows   |
| Two weed shops  |
| Not much to do, social events   |
| NA  |
| Lack of willingness to adapt to the changing society  |
| Affordable housing  |
| Update the webpage!!!! It's ridiculous that the village and township have websites from 2001..Very limited hours.. and government that is very clique related.. back pocket deals. Transparency |
| Lack of facilities for seniors and our youth.   |
| Grocery option  |
| Historical atmosphere.  |
| Current leadership  |
| The board   |
| The negative mentally that things will never change   |
| Expansions  |
| Loosing the up north feel   |
| Lack of gym, meijer /kroger   |
| Greed   |
| Lack of restaurant options.   |
| Roads   |
| Not holding developers accountable  |
| No gym or grocery store.  |
| Urban sprawl  |
| Closed mindedness   |
| Lack of leadership to point in the right direction  |
| The township and village need to collaborate more.  |
| Water supply  |
| None  |
| Na  |
| None  |
| nepotism  |
| Reliance on the past  |
| Lack of community engagement  |
| Water rates. They are out of control.   |
| Traffic planning  |
| Blight  |
| No sidewalk to Fenton and expensive water   |
| Limited grocery options   |
| Vocal republicans.there is also no sense of community   |
| Access to major highways, Grange hall is getting busy and as more people move in it will get worse  |
| Division  |
| Poor water quality  |
| More stuffs for people to do  |
| Residents resistance to change, enhancements and progress.  |
| Cost of water, trailer parks  |
| It could be safety as subdivisions grow   |
| Overdevelopment   |

City just looking for money from future residents instead of thinking of its current residents

Internal fighting amongst the government

I don't have anything in mind

No transportation to stores which are not so expensive.

Too many empty spaces

Not enough housing choices or school choices

Trying to build way too much

Near sighted money.

Police service. Do not create our own, contact it out to the county

Choice of places to go or lack there of

No high paying jobs

Not making developers accountable to complete their proposed master deed in a timely manner.

Weak village management

Grange hall rd

Na

If we don't start putting more effort into raising better children what future do we have?

Leaders that are keeping it from growing

Lack of drinking water. This water is too expensive and not suitable

Commercialization

Other than a few parks, not much for teenagers to do

Don't know what that weakness would be.

Gravel roads

Unable to progress into the future with modern technologies with updated website, businesses

Jobs

Corruption

Lack of teamwork with the village to create activities for families and children.

Water bill

Cheap housing

Hubris and narrow minded people with big tempers unable to actually LISTEN to constructive criticism without getting offended and lashing back out.

Adding things like weed shops

One party control of government. There needs to be diversity of thought and people that represent our diverse community.

Liberals

Education

traffic along grange hall road

The impact of growth and meeting the high cost to maintain necessary services.

Too much of the old politics

Decline of homes-falling into disrepair-no community center for youth

Same old same old thinking. We don't do that focusing on only businesses.

Bow to every business that comes to town with a threat to sue.

Contaminated lakes and streams from uncontrolled business discharges .

I honestly can't think of a weakness.

The greatest weakness is the drive for change for change sake. Holly does not need to be a mini Flint or even a Fenton.

Overpriced water, people voting against things that would improve life for everyone

Side Road repair ...As people who travel here for kids t-ball sports .

Advertising and planning profitable events to held here and continued posting weekly leading up to and day of events so there not missed

Small town relatively isolated from city problems.

The inability to improve

I don't know of anything the township does or has.

Traffic gets really bad during rush hour from 75 down grange hall. Expand lanes or create alternative routes.

Trailer parks and the water.

Lack of police protection, poor enforcement of people who don't take care of their property such as over grown lawn

The aging population

Their ability to drive people out of town and or make them hate living here.

Resistance to change, preference by some for isolationism.

It doesn't look as clean and inviting. There aren't things that pop out when driving through.

NA

Taxes

Not sure.

Communication to residents

The large amount of open space.

Poor infrastructure and lack of forward thinking concerning utilities

We're broke

unemployed people

roads

have no clue at this time.

We have marijuana dispensaries but not community pool? Or local parks and recreation centers for kids

The cost of water is ridiculously high. It is deterring people from moving to Holly, and is a reason people move away.

Lack of progression

Limited ability to expand the city.

Traffic had increased but not the roads to accommodate

Lack of options for food shopping, too many dollar stores

Is a very judgy town and by that I mean by the towns democratic officials, they're openly disrespectful to anyone in public forums who don't align with them politically

Aging Population

Finding quality people to serve in government positions.

Traffic, leadership of the township.

To old no update water stinks

Low income housing options. Especially The mobile home parks not being well run, being inviting to riff raff and people with low moral character.

Trailerbparks

Allowing exceptions to the Master Plan to benefit private interests, not to the benefit of the Township residents..

Dirt roads.

Need more retail and restaurants

Idk

Any political agenda that does not represent most of the people of the township



The government structure.

Lack of economic growth beyond fast food, automotive or cannabis businesses.

Community events for everyone to enjoy throughout the year

Lack of vision

The people in power spending money on dumb shit like tennis courts then putting a small structure at lakeside

Too high of taxes. Reserving the rural areas of Holly

Poor leadership in certain township office positions

Allowing too many areas to be turned into apartment, building sites and more housing in the area, destroying the country feel of Holly.

Untruthfulness when presenting new developments

Building a campground near my house

Trailer parks

potential for over development

Inexperienced leaders of the community who are stuck in the mud of the old way of doing things!!

It seems the development team and board base their decisions on what income will come from something rather than the people that chose to live here.

Water quality and price

Policing and allowing natural growth with regard to residential and commercial.

Not keeping the community as a quiet, peaceful area for people to live.

Too many mobile home parks

Limited options for different types of shopping.

No new ideas for development. Out of touch with most of the people living in the Township

Financial resources.

Looking the other way and letting big names come in and do whatever they want.

Traffic

Dilapidated buildings and crime

Can't think of any. No issues.

Current leadership and WATER BILL CRISIS

Too many elected and appointed officials who are related and have been in office too long. More perspectives and ideas needed.

Village of Holly. Poor decision after poor decision.

Properly marketing the township as a desirable place to live, work, and play.

Traffic is horrific, we need 4 lanes in the Village again.

Need more restaurants, shopping.

Transportation

Corrupt local politicians that make way too much money

Not preserving agricultural & residential zoning

Double government

Transportation

Community members who want big development to come to holly

Stuck in the past

Self serving, incompetent government leadership. No vision..

How there is not much walkability to stores or restaurants in the same area.

I have no idea

Leadership

Lack of community involvement and support. But I suppose that's normal these days; people complain and yet do nothing.

Taxes are too high for services offered. Water system is deplorable

The people are rude

Lack of diverse affordable housing options.

Influx of less than favorable business types. Illegal drugs will not make us a better community going forward.

Allowing businesses and homes in the downtown areas to continue to decline.

Drunk and impaired drivers

Accessibility to natural gas and cable/internet.

We need our own fire department.

No transportation

Not putting it's residents first.

Becoming too built up- too many wooded areas and nature being cut down to build another store that we do not need! We do not agree with the proposed campground off North Holly Road. It is in too many Holly residents backyards that DO NOT want it and moved to their locations to be in a peaceful and natural environment. Holly already has several campgrounds and does not need to allow another one to be in a location where it is not wanted or needed.

Communication.

Lack of dedicated police patrol.

Accessibility to amenities

Terrible parks won't attract young homeowners

Educational offerings

Lack of vision

Possibility of future developments

Infrastructure

Lack of community from the schools— for instance little league paying to use the field ( which technically belongs to all of us!)

As a young family looking to move here, lack of grocery store options and cohesive downtown area Silverman, and other developers that that don't finish their developments

Being part of Oakland County

Focusing on the upkeep and preservation of broken-down, flammable historic buildings with high rents that prevents unique stores from success, as well as, no-where for the teenagers to enjoy an outing without feeling like they're not welcome. Continuation in this direction will lead to more buildings being abandoned eye-sores, and curb appeal to disappear. Like, who wants to walk to down town only for the view to be ugly, old buildings falling into disrepair because the city wants to focus on the restoration of a building that should've already been replace 15 years ago.

Falling victim to the bigger is better mentality. We need to preserve what we have.

Holly Township appears to be focused on tax dollars not only from homeowners/property owners but by allowing for example Marijuana dispensaries to come in. Also they seem to just want to push through development of land without even considering how it will affect the residents around the area, the wildlife, wetlands, etc. It's all about quietly pushing something through so the township can have more and more tax money coming in. Stop trying to commercialize our rural areas.

Officials not holding developers accountable

Lack of community amongst residents and business owners.

Some rundown homes

Not understanding the opportunities that the thousands of acres of state land and parks can have on the commerce in the town of Holly If used correctly

Being in Northwest Oakland county (forgotten

Getting rid of blight

Lack of housing affordability and choices make it difficult for the younger generations to live here.

As Holly is still developing, the township needs to be very selective about what types of businesses and services to bring in. That will set the tone for the future, and what types of people want to live here.

Too much commercial development

Water prices, lack of an affordable grocery store

Getting to big and crowded without the infrastructure and loosing its small town charm

Over development, becoming overcrowded and therefore causing unnecessary stress for it's already existing population.

Too many developments. So many people move here to be rural. That's why we left the Waterford/White Lake/Commerce area. More developments will dissuade people with those same desires from moving here.

Loosing the rural feel

The people

Building cheap thrown up homes for tax dollars for the selfish politicians

The desire to become bigger than the town can withstand. Becoming larger, brings in crime, congestion, higher taxes, and not the quality of people that can appreciate the feel of our current talent.

Crime, traffic, congestion, People feeling the need to develop it

Water rates

Communication

The risk of rezoning areas for high density housing. Let's remain agricultural estate.

Letting tiny lots being normal, and no big grocery store

I don't see one

Lacking a way to bring the community together

Enhancing downtown (clean up, beautify and increase opportunity to attract more business

Infrastructure

Maintenance and informing the residence of situations (boil water and road closures)

Lack of retail and restaurants

Being forced to build Low incoming housing

The fire department is not yet a taxing Authority. Lack of a police department

Not having our own police dept. Crime in the area. No decent grocery store. Public safety on the roads & by the schools. No crossing from our sub Gardens of Riverside to Patterson school. No sidewalks. We need more traffic lights. Keeping a better watch of how our Holly twp is spending our valuable tax money. The decisions of spending our money needs to be watched closer! With all the new homes moving in where is this extra tax money being used for?

Lack of concern for environmental issues, ie. Falk Rd Dump & PFAS contamination

No youth participation in government

The good Ole boys on the board need some fresh blood with new open ideas

Lack of qualified leadership

Planning of putting in more homes, which means more traffic, which the roads are not ready for, and will take away from the small town feel.

The water situation. Poor quality and extremely expensive

**communication- need better social media site - or better communication with Tri County Times  
I feel that as you try to get more families to move here, there needs to be more support from the township for kids programs.**

**Silverman developments**

**They need to draw better business to North Holly.**

**Run down houses steering people away from settling here.**

**Lack of diverse businesses**

# 2004 Oakland County



## **Potential Conservation/ Natural Areas Report**

**Prepared by:**  
Michigan Natural Features Inventory

**Prepared for:**  
Oakland County Planning & Economic Development Services

# **Oakland County Potential Conservation/Natural Areas Report**

## **April 2004 Update**

### **Prepared by:**

John Paskus, Associate Program Leader - Conservation  
Helen Enander, Information Technologist I

Michigan Natural Features Inventory  
P.O. Box 30444  
8<sup>th</sup> Floor, Mason Bldg.  
Lansing, MI 48909-7944

MNFI maintains a continuously updated information base, the only comprehensive, single source of data on Michigan's endangered, threatened, or special concern plant and animal species, natural communities, and other natural features. MNFI has responsibility for inventorying and tracking the State's rarest species and exceptional examples of the whole array of natural communities. MNFI also provides information to resource managers for many types of permit applications regarding these elements of diversity.

### **Prepared for:**

Oakland County Planning & Economic Development Services  
Daniel P. Hunter, Manager

L. Brooks Patterson, County Executive  
Dennis Toffolo, Director, Community & Economic Development Services

**For additional information contact Oakland County Planning & Economic Development Services at (248) 858-0720.**

# Table of Contents

**Introduction**.....3

**History**.....4

**Process for Delineating and Ranking Potential Conservation/Natural Areas within Oakland County**.....5

    Materials and Interpretation Methodology .....5

    Site Selection and Prioritization .....5

    Description of Criteria .....6

        Size.....6

        Core Area .....6

        Stream Corridor .....6

        Landscape Connectivity.....7

        Restorability .....7

    Enhanced Criteria .....8

        Vegetation Quality .....8

        Parcel Fragmentation .....8

        Element Occurrence.....9

**Priority One, Priority Two & Priority Three Ranking**.....10

**Map**.....11

**Priority One, Priority Two & Priority Three Ranking plus Enhanced Criteria**.....12

**Site Criteria Table** .....13

**Enhanced Criteria Table**.....14

**Conclusion** .....15

**References**.....17

# Oakland County Potential Conservation/Natural Areas

## Introduction

Natural resource conservation is a fundamental component of a community's long-term environmental and economic health. Natural resource areas perform important natural functions such as water filtration and they provide recreational opportunities and wildlife habitat that enhance the overall vitality of a community. Abundant natural resources once surrounded population centers in Oakland County. Now, much reduced in size, natural resource areas are becoming encircled by population. These remaining sites are the foundation of Oakland County's natural heritage; they represent the last remaining remnants of Oakland County's native ecosystems, natural plant communities and scenic qualities. Consequently, it is in Oakland County's best interest and to a community's advantage that these sites be carefully integrated into the planning for future development. Striking a balance between development and natural resource conservation and preservation is critical if Oakland County is to maintain its unique natural heritage. This approach will provide the greatest opportunity to maintain high property values and continued market demand. Part of what makes Oakland County such a unique and desirable place to work, live, and play is the combination, quality, and accessibility of its natural landscapes, lakes, rivers, and streams.

Successful land use planning requires more than simply protecting small preserves and trusting that they will remain in their current condition indefinitely. Many human activities such as road construction, chemical and fertilizer application, fire suppression, and residential development can have a detrimental impact on populations of plants, animals, and insects and the natural communities in which they live. In order to maintain the integrity of the most fragile natural areas, a more holistic approach to resource conservation must be taken, an approach that looks beyond the borders of the site itself. What happens on adjacent farmland, in a nearby town, or upstream should be considered equally as important as what happens within a preserve. By looking to the past, understanding the present, and considering the future, it becomes apparent that a balance must be struck between development and natural resource preservation.

**This report identifies and ranks Potential Conservation Areas remaining in Oakland County.** Potential Conservation Areas are defined as places on the landscape dominated by native vegetation that have various levels of potential for harboring high quality natural areas and unique natural features. In addition these areas may provide critical ecological services such as maintaining water quality and quantity, soil development and stabilization, pollination of cropland, wildlife travel corridors, stopover sites for migratory birds, sources of genetic diversity, and floodwater retention. However, the actual ecological value of these areas can only be truly ascertained through on the ground biological surveys. The process established by the Michigan Natural Features Inventory (MNFI) of identifying potential conservation areas, can also be used to update and track the status of these remaining sites. The Michigan Natural Features Inventory recommends that Oakland County Planning &



Economic Development Services Division (PEDS) incorporate this information into their comprehensive natural area mapping services. The site map and ranking data can be used by local municipalities, land trusts, and other agencies to prioritize conservation efforts and assist in finding opportunities to establish an open space system of linked natural areas throughout Oakland County.

In this report the term “**potential natural area**” (PNA) has been used in place of the term “**potential conservation area**.” The substitution was made in order to convey to the reader a clearer picture of the type of sites that are being delineated. It is felt that more people have a better understanding of the term “natural area”.

**The term “potential natural area,” however, is not to be confused with the legal term “dedicated Natural Area” as described in Part 351, Wilderness and Natural Areas, of the Natural Resources and Environmental Protection Act of 1994 which gives land special legal protection.**

## History

In 1987, the foundation for preserving Oakland County’s natural heritage was put in place when the County contracted with the Michigan Natural Features Inventory (MNFI) to conduct the first inclusive natural area survey of Oakland County. This survey identified 37 sites of high natural quality and relatively undisturbed native vegetation. This survey proved useful in numerous preservation efforts in areas of acquisition, establishing conservation easements, and helping to guide the efforts of local land trusts. The survey’s limitation was in its ability to identify the larger ecosystems that maintain the long-term integrity of Oakland County’s highest quality natural areas. Subsequently, in the fall of 1997, six Oakland County municipalities (Rose, Springfield, Highland, Milford, White Lake Townships, and the Village of Milford) along with Oakland County Planning and Economic Development Services (PEDS) decided to undertake a more comprehensive study of natural areas. This new survey takes a more holistic approach to natural resource protection and is the foundation of the Shiawassee & Huron Headwaters Resource Preservation Project (S&H project). This project was a multi-jurisdictional, community based, public/private partnership, which demonstrates how to comprehensively identify and prioritize natural resources and critical ecosystems and identifies tools for the protection and sustainability of these resources. A systematic process was developed in order to identify and prioritize potential natural areas for preservation and/or further field survey efforts. This process was substantiated by the natural features data that the ecologists, botanists, and zoologists collected during field survey work performed at several of the S&H project identified sites.

In order to make comparable data available for the entire County, Oakland County PEDS contracted with the Michigan Natural Features Inventory (MNFI) to complete the mapping and ranking of areas not included within the S&H project. Using a slightly refined process than was utilized during the S&H project, over 600 potential natural areas were identified and ranked. These sites represent what appears to be the least disturbed natural areas remaining within Oakland County. This report was published in July 2002.

In 2004, MNFI was contracted to update the 2002 potential natural areas as well as the PNAs that were identified in the original five-township area. Again, the process was slightly refined. The 2002 boundaries were “tightened up” and natural lands that had changed to development or agricultural lands were removed. As a result, the new boundaries are much more accurate than previous boundaries.

Over 800 PNAs were identified and ranked. These sites represent what appear to be the least disturbed natural areas remaining within Oakland County. The increase in the number of sites is primarily due to the use of roads to define sites, not an increase in additional lands. In fact, 2002 PNA acreage decreased from 110,000 acres countywide to approximately 93,500 acres, representing a 15% reduction. These 93,500 acres represents approximately 16% of the total county acreage.

When using this information it is important to keep in mind that site boundaries and rankings are a starting point and tend to be somewhat general in nature. Consequently, each community, group or individual using this information should determine what additional expertise is needed in order to establish more exact boundaries and the most appropriate conservation efforts.

## **Process for delineating and ranking Potential Conservation/Natural Areas within Oakland County**

### **Materials and Interpretation Methodology**

Interpretation of the 25-township area in Oakland County was conducted by using digital aerial photography taken in 2002 and provided by Oakland County’s Planning and Economic Development Services Division.

Delineation of sites was done through aerial photo interpretation, with emphasis placed on 1) intactness, 2) wetlands and wetland complexes, 3) riparian corridors, and 4) forested tracts. Delineation of sites during this phase of the process was done conservatively, such that the chance of capturing sites that may end up being eliminated upon closer inspection, was greater than the chance of omitting sites that should have been delineated. Sites were delineated by focusing on wetlands and forest tracts and eliminating as much development (including roads), active agriculture and old fields as possible. Boundaries typically were defined by hard edges such as roads, parking lots, developments, and railroad beds. All potential natural areas were identified and delineated regardless of size. Municipal boundaries were not utilized to delineate site boundaries unless the boundary corresponded to a defined hard edge, such as a road. Once all sites were delineated, sites under 20 acres were deleted.

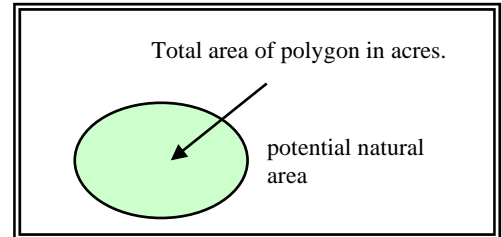
### **Site Selection and Prioritization**

Following the aerial photo interpretation and the delineation of potential natural areas, a more rigorous level of examination was undertaken based upon specific scaled criteria to

prioritize sites. The criteria used to first delineate the sites were translated to a numerical scale. Each site could then be assessed based upon the scaled criteria and a total calculated score, based upon the sum of the scores for each criterion.

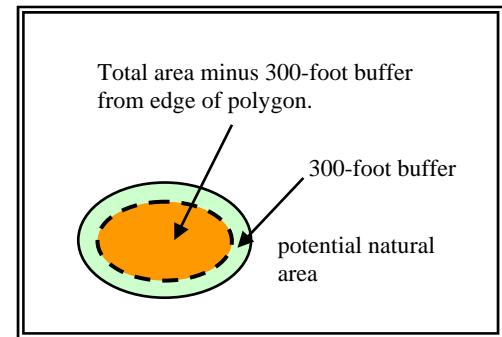
**Description of Criteria**

**Total Size** - The total size of a site is recognized as an important factor for viability of species and ecosystem health. Larger sites tend to have higher species diversity, higher reproductive success, and improve the chances of plant and animal species surviving a catastrophic event such as a fire, tornado, ice storm, or flood.



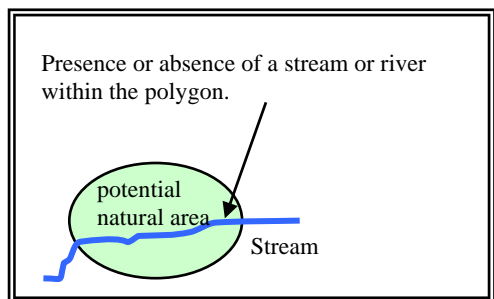
Size is defined as the total area of the polygon.

**Size of Core Area** - Many studies have shown that there are negative impacts associated with the perimeter of a site on “edge-sensitive” animal species, particularly amphibians, reptiles, and forest and grassland songbirds. Buffers vary by species, community type, and location, however most studies recommend a buffer somewhere between 200 and 600 ft. to minimize negative impacts. Three hundred feet is considered a sufficient buffer for most “edge-sensitive” species in forested landscapes.



For this project, core area is defined as “size” (see above) minus a 300-foot wide buffer measured inward from the edge of the polygon. Core area is different from total area of the site because it takes into account the shape of the site. Typically, round shapes contain a larger core area relative to the total site than long narrow shapes.

**Stream Corridor (presence/absence)** - Water is essential for life. Streams are also dynamic systems that interact with the surrounding terrestrial landscape creating new habitats. Waterways also provide the added benefit of a travel corridor for wildlife, connecting isolated patches of natural vegetation.



Sites that are part of riparian corridors were given a score of 2 or 0 points depending upon whether or not the site included a portion of a river or

stream system. Oakland County GIS hydrography data layer was used to determine presence/absence of river or stream.

**Landscape Connectivity** - Connectivity between habitat patches is considered a critical factor for wildlife health. High connectivity improves gene flow between populations, allows species to recolonize unoccupied habitat, improves resilience of the ecosystem, and allows ecological processes, such as flooding, fire, and pollination to occur at a more natural rate and scale. Landscape connectivity was measured in two ways, *percentage* and *proximity*.

*Percentage*

Landscape connectivity was measured by building a ¼ mile buffer around each polygon and measuring the percentage of area that falls within other potential natural areas.

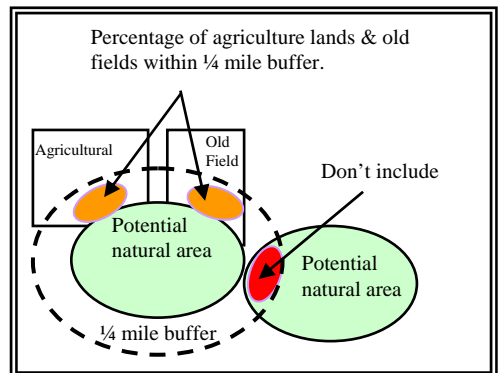
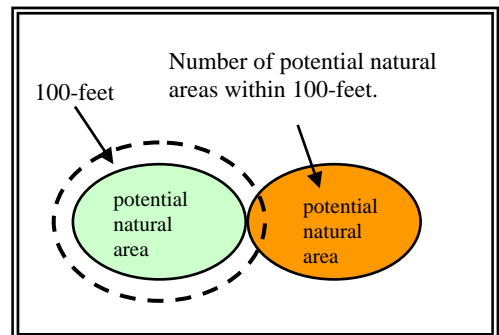
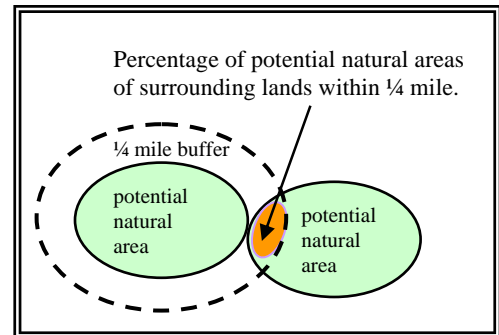
*Proximity*

In addition to measuring the area around a polygon that is considered natural, connectivity can also be measured by the number of individual potential natural areas in close proximity to the site. The greater the number of polygons in “close proximity,” the higher the probability for good connectivity. Close proximity was determined to be 100 feet. One hundred feet was chosen as the threshold based on digitizing error and typical width of transportation right-of-ways, pipelines, and powerline corridors.

**Restorability of surrounding lands** -

Restorability is important for increasing the size of existing natural communities, providing linkages to other habitat patches, and providing a natural buffer from development and human activities.

Restorability is measured by the potential for restoration activities in areas adjacent to the delineated site. First, a ¼ mile buffer was built around each site. Potential natural areas as defined by MNFI, located within the buffer area were then removed, and the percentage of agricultural land and old fields within the remaining buffer area was measured. Only



agricultural land and old fields were considered because they require the least amount of effort to restore back to some sort of natural condition. 1995 SEMCOG landcover data was used to identify areas of agricultural land and old fields.

### Enhanced Criteria

The process established by the Michigan Natural Features Inventory for prioritizing conservation areas continues to evolve. In order to incorporate the most up to date information available for assessing PNAs, an Enhanced Criteria category was added. Two new criteria for 2004 have been added that address vegetation quality and parcel fragmentation. Element occurrences, while not a new criterion, were not used in 2002 as part of the ranking criteria.

**Vegetation Quality** – The quality of vegetation is critical in determining the quality of a natural area. Vegetation can reflect past disturbance, external impacts, soil texture, moisture gradient, aspect, and geology. Vegetative quality however is very difficult to measure without recent field information. As a surrogate to field surveys, a vegetation change map comparing the 2000 Integrated Forest Monitoring Assessment and Prescription (IFMAP) landcover datalayer to the circa 1800 vegetation datalayer was created. The resulting potential unchanged vegetation can then act as an indicator of vegetation quality.

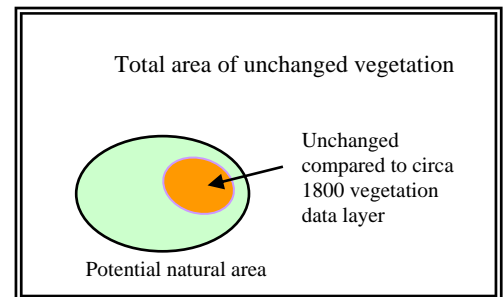
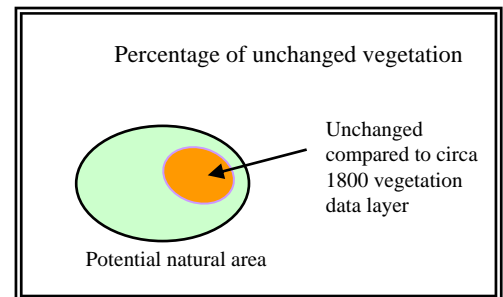
#### *Percentage*

Vegetation quality was measured by calculating the percentage of the site that contains potentially unchanged vegetation. This allows small sites with a high percentage of potentially unchanged vegetation to score points.

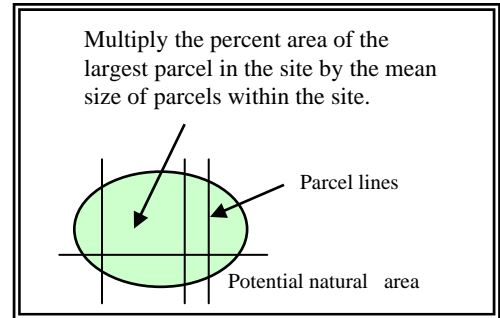
#### *Area*

Vegetation quality was also measured by calculating the area of potentially unchanged vegetation that falls within each site. This balances the bias of small sites with high percentage of potentially unchanged vegetation by awarding points based on actual area covered.

**Parcel Fragmentation** – Although this criteria varies somewhat from the ecologically based criteria, it can be a useful indicator in determining



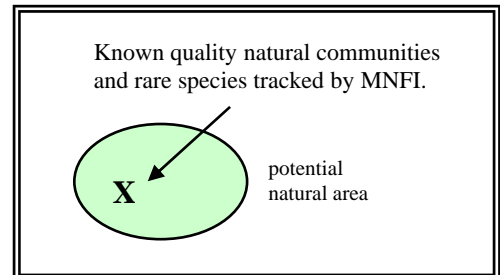
the long-term conservation success of a project. While parcel boundaries are simply lines on a map the associated consequences of splitting parcels can adversely affect habitat. Sites that contain numerous small parcels are typically much more difficult to manage and protect than sites with a few large parcels. Associated problems with smaller parcels include increased wildlife/human conflicts, stewardship coordination, additional septic systems, fences, introduction of invasive plants and general loss of vegetation.



Parcel fragmentation was determined by multiplying the percent area of the largest parcel in the site by the mean size of parcels within the site.

**Number of Element Occurrences** - The location of quality natural communities and rare species tracked by MNFI are often, although not always, indicative of the quality of a site. The occurrences in and of themselves are important.

Three points were awarded to sites that had three or more element occurrences (EOs), two points for 2 EOs, one point for 1 EO, and zero points if there were no EOs. Since Oakland County has never received a comprehensive natural features site field inventory, two total scores were calculated, one with element occurrence scores and one without. Excluding the element occurrence criteria from the matrix eliminates survey bias towards public lands and complications associated with the variability of the last observed date amongst element occurrences.



**Note:** The number of points assigned for each criterion is in the *site criteria table* on page 13.

## Priority One, Priority Two & Priority Three Ranking

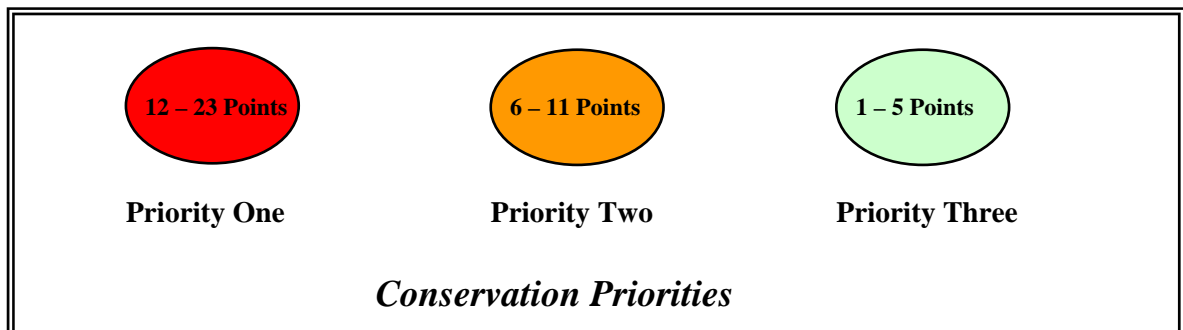
In order to provide consistency with the 2002 results, the model was run **without** the **Enhanced Criteria** added. The enhanced criteria includes the element occurrence criterion as well as the two new criteria (parcel fragmentation and vegetation quality). Each of the 830 delineated sites, totaling 93,521 acres, was given a total score based upon the criteria described in the following table, **excluding** the enhanced criteria.

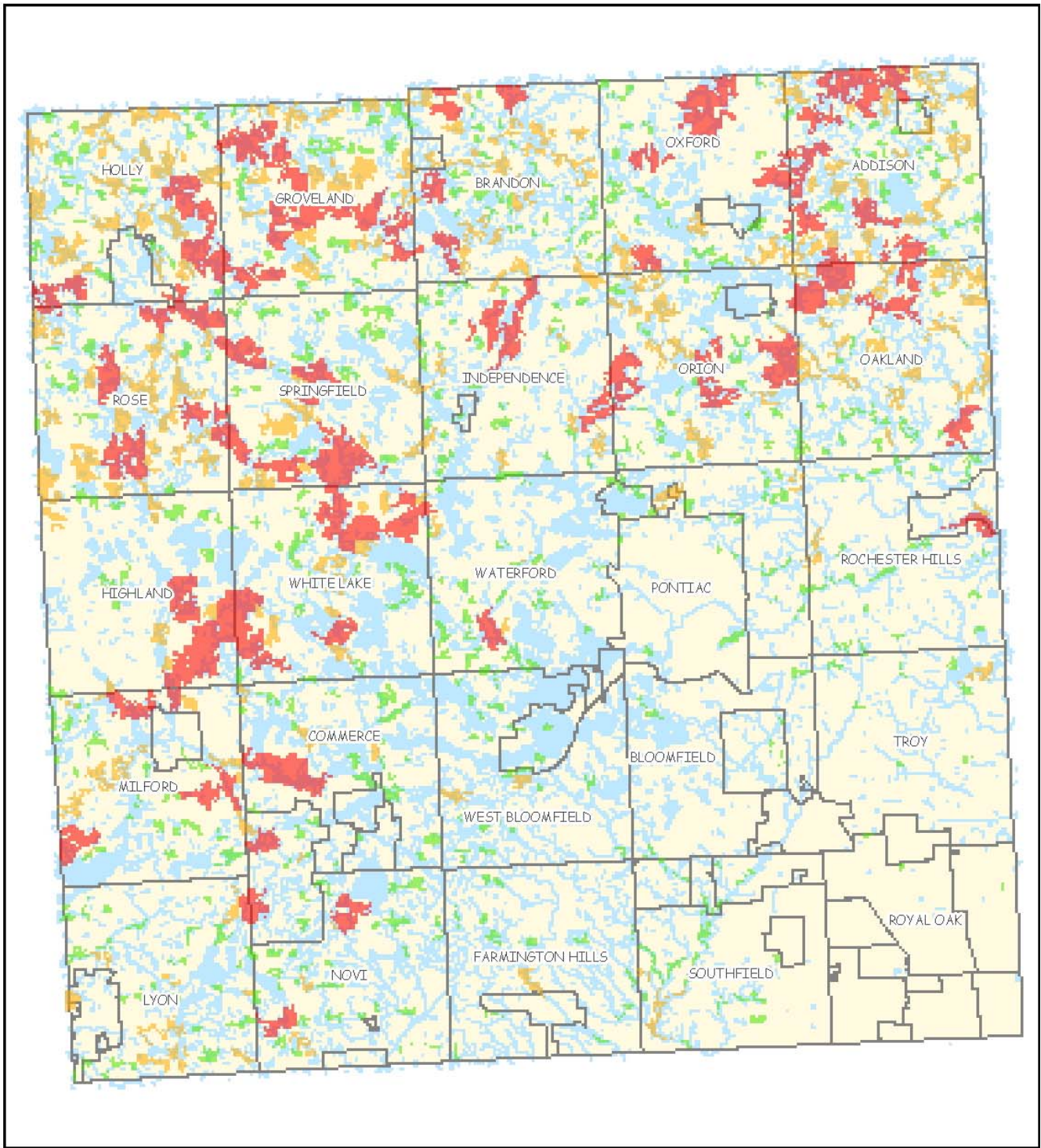
Total scores ranged from 23 points (out of a possible 25) to a low of 1 point. Once the total scores were tabulated, the next step was to determine a logical and reasonable break between priority one, priority two, and priority three sites. Many potential natural area sites can be just one point away from being placed into another category.

The 2002 classification method was an iterative process taking into account the number of sites in a given category, the number of sites with the same score, and a visual inspection of spatial data layers in a geographic information system (GIS). For 2004, MNFI decided to review different methodical classification schemes. In the end MNFI decided to use the natural break classification (or Jenk's optimization) because it provided an objective division of classes that produced a distribution very similar to the more subjective approach we used in 2002. The natural break method is the default classification method in ArcView. This method identifies breakpoints between classes using a statistical formula called Jenk's optimization. The Jenk's method finds groupings and patterns inherent in the data by minimizing the sum of the variance within each of the classes.

Despite the more methodical approach to classification, it still could be argued that sites scoring one point below should be included in the higher category or that sites scoring right at the low end of a category should be placed in the next lowest category. To help alleviate anxieties about which category a particular site is placed, actual numeric total scores can be displayed in the middle of each polygon. This would allow the viewer to see how a site compares directly to another site without artificially categorizing it within a group.

Using the natural break classification, a total of 484 sites were placed in the priority three category, 262 sites were placed in the priority two category, and 84 sites were placed in the priority one category (see map on page 11). Breaking it down into percentages of total sites identified, 58.3% were labeled priority three, 31.6% were labeled priority two, and 10.1% of the sites were identified as priority one. It is important to note that although only 10.1% of the sites were identified as priority one, these 84 sites total 38,674 acres. This corresponds to 41.3% of the total acreage of all delineated sites (93,521 acres).





## Oakland County 2004 Potential Conservation/Natural Areas

**Planning & Economic Development Services**  
 Executive Office Building  
 1200 N. Telegraph Road  
 Department 412  
 Pontiac, MI 48341-0412  
 TEL: 248.858.0720  
 FAX: 248.875.0656  
[www.co.oakland.mi.us](http://www.co.oakland.mi.us)

Dennis Toffolo, Director  
 Community & Economic  
 Development

Daniel P. Hunter, Manager  
 Planning & Economic  
 Development Services

Environmental Stewardship Program

Planning & Economic Development Services

**Map Created: April, 2004**

**Conservation/Natural Areas**

- Priority One
- Priority Two
- Priority Three
- Lakes & Rivers

0 1 2 3 4 Miles



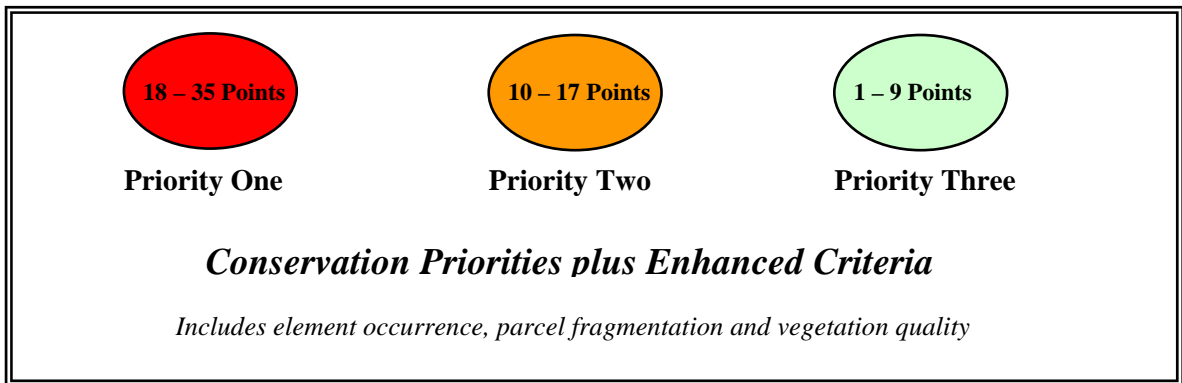
## Priority One, Priority Two & Priority Three Ranking with Enhanced Criteria

There are multiple ways of interpreting and analyzing datasets for ranking the priority of a site. Since the process of ranking potential natural areas continues to evolve with new and improved datasets we have added this ranking with enhanced criteria section to the report.

It is felt that the addition of vegetation quality and parcel fragmentation enhances the existing set of criteria. As mentioned, the actual ecological value of PNAs can only be truly established through on the ground biological survey. When establishing sites for possible field inventory, each community, group or individual should look at all available criteria in conjunction with their unique local conditions.

With the element occurrences plus two new considerations (vegetation quality and parcel fragmentation) included in the criteria, total scores ranged from a high of 35 points (out of a possible 40 points) to a low of 1 point. The mean or average score was 10.

Using the natural break classification and all criteria, a total of 436 sites were placed in the priority three category, 312 sites were placed in the priority two category, and 82 sites were placed in the priority one category. Breaking it down into percentages of total sites identified, 52.5% were labeled priority three, 37.5% were labeled priority two, and 9.9% of the sites were identified as priority one. It is important to note that although only 9.9% of the sites were identified as priority one, these 82 sites total 38,256 acres. This corresponds to 40.9% of the total acreage of all delineated sites (93,521 acres).



After running the model with and without the element occurrence criterion as well as the two new criteria (parcel fragmentation and vegetation quality) some comparisons could be drawn, although the differences between the two results are actually very minimal. Based on the model outcomes, **Michigan Natural Features Inventory recommends the use of the enhanced criteria which includes parcel fragmentation, vegetation quality and element occurrence.** If a community wishes to use the Enhanced Criteria ranking, please contact Oakland County Planning & Economic Development Services for a map and explanation of the changes for your community.

**Site Criteria Table**

| <b>CRITERIA</b>                                 | <b>DESCRIPTION</b>   | <b>DETAIL</b> | <b>PTS</b> |
|---|--|---------------|------------|
| <b>Total Size</b>                               | Total size of the polygon in acres.<br><br><input type="checkbox"/> <i>Size is recognized as an important factor for viability of species and ecosystems.</i>  | 20 - 40 ac.   | 0          |
|   |  | >40 - 80 ac.  | 1          |
|   |  | >80 - 240 ac. | 2          |
|   |  | >240 ac.      | 4          |
| <b>Size of Core area</b>                        | Acres of core area.<br>- Defined as total area minus 300 ft. buffer from edge of polygon.<br><br><input type="checkbox"/> <i>Greater core area limits negative impacts on “edge-sensitive” animal species.</i>   | 0 - 60ac      | 0          |
|   |  | >60 - 120 ac  | 2          |
|   |  | >120 - 230 ac | 4          |
|   |  | >230 ac       | 8          |
| <b>Stream Corridor (presence/absence)</b>       | Presence/absence of a stream or river within the polygon.<br><br><input type="checkbox"/> <i>Stream corridors provide wildlife connections between patches of habitat.</i>   | none          | 0          |
|   |  | present       | 2          |
| <b>Landscape Connectivity</b><br><br>Percentage | Percentage of potential natural areas within 1/4 mile.<br>- build 1/4 mile buffer<br>- measure % of buffer that is a potential natural area  | 0 - 11%       | 0          |
|   |  | >11 - 22%     | 2          |
|   |  | >22 - 33%     | 3          |
|   |  | >33%          | 4          |
| <b>Proximity</b>                                | Number of potential natural areas within 100 ft..<br><br><input type="checkbox"/> <i>Connectivity between habitat patches is considered a critical factor for wildlife health.</i>   | 0             | 0          |
|   |  | 1             | 1          |
|   |  | 2             | 2          |
|   |  | 3             | 3          |
|   |  | 4+            | 4          |
| <b>Restorability of surrounding lands</b>       | Restorability of surrounding lands within 1/4 mi.<br>- build 1/4 mile buffer<br>- subtract potential natural areas from buffer<br>- measure % agricultural lands and old fields<br><br><input type="checkbox"/> <i>Restorability is important for increasing size of existing natural communities, providing linkages to other habitat patches, and providing a natural buffer from development.</i> | 0 - 35%       | 1          |
|   |  | >35 - 65%     | 2          |
|   |  | >65%          | 3          |
| <b>Note</b> Total possible points = 25          |  |               |            |

### Enhanced Criteria Table

| <i>ENHANCED CRITERIA</i>  | <i>DESCRIPTION</i>  | <i>DETAIL</i> | <i>PTS</i> |
|---|---|---------------|------------|
| <b>Vegetation Quality</b><br><br>Percentage                             | Estimates the quality of vegetation based on circa 1800 vegetation maps and 2000 Integrated Forest Monitoring Assessment and Prescription (IFMAP) landcover data.<br><br>Measures the percentage of potentially unchanged vegetation within a polygon.  | 1 - 10%       | 0          |
|   |   | 10.1 -30%     | 1          |
|   |   | 30.1 – 65%    | 2          |
|   |   | 65.1 – 100%   | 4          |
| <b>Area</b>   | Measures the actual area within a polygon of potentially unchanged vegetation regardless of the size of the polygon.<br><br><input type="checkbox"/> <i>The quality of vegetation is critical to determining the quality of a natural area.</i>   | 0 – 10ac      | 0          |
|   |   | 10.1 – 40ac   | 1          |
|   |   | 40.1 – 80ac   | 2          |
|   |   | 80.1 - 160    | 3          |
|   |   | > 160ac       | 4          |
| <b>Parcel Fragmentation</b>   | Measures the feasibility of conservation for a site by analyzing parcel numbers and size.<br><br>It is calculated by multiplying the percent area of the largest parcel in the site by the mean size of parcels within the site.<br><br>The results were classified using the Jenk’s optimization formula.<br><br><input type="checkbox"/> <i>The associated consequences of subdividing land can adversely affect habitat.</i> | 0 -2.5 ac     | 0          |
|   |   | 2.6 – 8 ac    | 1          |
|   |   | 8.1 – 18 ac   | 2          |
|   |   | 18.1 – 43 ac  | 3          |
|   |   | < 43 ac       | 4          |
| <b>Number of Element Occurrences (EOs)</b>                              | Known element occurrences increase the significance of a site.<br><br><input type="checkbox"/> <i>The location of quality natural communities and rare species tracked by MNFI are often, although not always, indicative of the quality of a site.</i>   | 0             | 0          |
|   |   | 1             | 1          |
|   |   | 2             | 2          |
|   |   | 3+            | 3          |
| <b>Note</b> Total possible points with all enhanced criteria added = 40 |   |               |            |

## Conclusion

This inventory documents that Oakland County remains rich with high quality natural resource areas that still look and function the way they did 200 years ago. Some of these sites have the potential of harboring endangered, threatened, or special concern animal and plant species. With the high rate of development and its associated stresses on the natural environment, conservation of these remaining areas and their native plant and animal populations are vital if the County's diverse natural heritage is to be maintained.

### Comments/Recommendations

- 1) Local units of government, individuals and interest groups using this information should consult the Shiawassee & Huron Headwaters Resource Preservation Project study. The study includes information on tools and techniques that conserve natural resources and create open space linkages while allowing for economically viable development.
- 2) Local municipalities should identify opportunities to link other possible natural resource sites not mapped during this survey. This would include small patches of land, tree and fence row plantings, agriculture land, and open fields.
- 3) Field inventories should be conducted on identified potential natural areas. This fieldwork would provide much needed additional site-specific data that should be considered when developing in and around such areas.
- 4) All identified sites, regardless of their priority, have significance to their local setting. This is especially true in areas that have experienced a high degree of development and landscape fragmentation.
- 5) A direct relationship exists between natural area protection and long-term water quality. With the abundance of water resources found in Oakland County and the potential impact on the economy associated with degradation of these resources, natural area protection should be integrated into local watershed management plans.
- 6) Municipalities should adopt a comprehensive conservation/greenway plan. The conservation of potential natural areas is most effective, and successful, in the context of an overall conservation/greenway plan.
- 7) Oakland County Planning & Economic Development Services should incorporate funding into the annual budget in order to update mapping and assessment of County potential natural areas.

- 8) Efforts to conserve potential natural areas should include on-going site assessment and stewardship.
- 9) Oakland County Planning and Economic Development Services should undertake widespread distribution of this survey in order to build awareness and encourage long-term resource planning and stewardship. Knowledge of potential natural areas is meaningless unless action is taken to ensure that they will remain part of the County's natural heritage.
- 10) When establishing sites for possible field inventory, each community, group or individual should consider all available criteria in conjunction with their unique local conditions. Site selection may well be influenced by local growth pressure and ownership of the land.

## References

- Dale, V. H., S. Brown, R. A. Haeuber, N. T. Hobbs, N. Huntly, R. J. Naiman, W. E. Riebsame, M. G. Turner, and T. J. Valone. 2000. Ecological Society of American Report: Ecological Principles and Guidelines for Managing the Use of Land. *Ecological Applications*. 10(3):639-670.
- Dramstad, Wenche E., J. D. Olson, and R. T. T. Forman. 1996. Landscape Ecology Principles in Landscape Architecture and Land-Use Planning. Island Press, Washington, D.C.
- Forman, Richard T. T. and Michel Gordon. 1986. Landscape Ecology. Wiley, New York.
- Leach, M. K. and T. J. Givnish. 1996. Ecological Determinants of Species Loss in Remnant Prairies. *Science*. Vol. 273:1555-1558.
- Peck, Sheila. 1998. Planning for Biodiversity: Issues and Examples. Island Press, Washington, D.C.
- Rosenberg, K. V., R. W. Rohrbaugh, Jr., S. E. Barker, J. D. Lowe, R. S. Hames and A. A. Dhondt. 1999. A land managers guide to improving habitat for scarlet tanagers and other forest-interior birds. The Cornell Lab of Ornithology.



# Retail MarketPlace Profile

Holly township  
 Holly township, MI (2612538720)  
 Geography: County Subdivision

## Summary Demographics

|                               |          |
|-------------------------------|----------|
| 2014 Population               | 11,420   |
| 2014 Households               | 4,484    |
| 2014 Median Disposable Income | \$43,983 |
| 2014 Per Capita Income        | \$26,518 |

| Industry Summary                    | NAICS     | Demand<br>(Retail Potential) | Supply<br>(Retail Sales) | Retail Gap   | Leakage/Surplus<br>Factor | Number of<br>Businesses |
|-------------------------------------|-----------|------------------------------|--------------------------|--------------|---------------------------|-------------------------|
| Total Retail Trade and Food & Drink | 44-45,722 | \$126,186,255                | \$46,550,443             | \$79,635,812 | 46.1                      | 76                      |
| Total Retail Trade                  | 44-45     | \$113,675,357                | \$32,079,637             | \$81,595,720 | 56.0                      | 59                      |
| Total Food & Drink                  | 722       | \$12,510,898                 | \$14,470,806             | -\$1,959,908 | -7.3                      | 17                      |

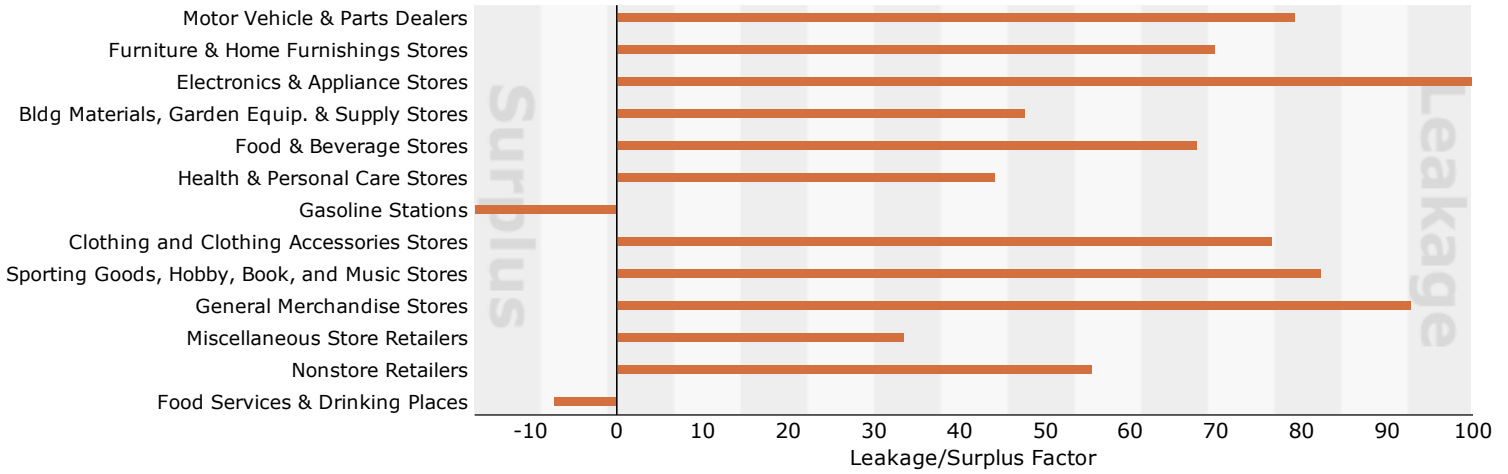
| Industry Group                                | NAICS    | Demand<br>(Retail Potential) | Supply<br>(Retail Sales) | Retail Gap   | Leakage/Surplus<br>Factor | Number of<br>Businesses |
|---|----------|------------------------------|--------------------------|--------------|---------------------------|-------------------------|
| Motor Vehicle & Parts Dealers                 | 441      | \$22,654,891                 | \$2,597,907              | \$20,056,984 | 79.4                      | 4                       |
| Automobile Dealers                            | 4411     | \$19,529,414                 | \$320,896                | \$19,208,518 | 96.8                      | 1                       |
| Other Motor Vehicle Dealers                   | 4412     | \$1,448,543                  | \$195,129                | \$1,253,414  | 76.3                      | 2                       |
| Auto Parts, Accessories & Tire Stores         | 4413     | \$1,676,934                  | \$2,081,882              | -\$404,948   | -10.8                     | 1                       |
| Furniture & Home Furnishings Stores           | 442      | \$2,197,697                  | \$387,397                | \$1,810,300  | 70.0                      | 2                       |
| Furniture Stores                              | 4421     | \$1,362,232                  | \$301,810                | \$1,060,422  | 63.7                      | 1                       |
| Home Furnishings Stores                       | 4422     | \$835,465                    | \$85,587                 | \$749,878    | 81.4                      | 1                       |
| Electronics & Appliance Stores                | 443      | \$3,112,086                  | \$0                      | \$3,112,086  | 100.0                     | 0                       |
| Bldg Materials, Garden Equip. & Supply Stores | 444      | \$3,920,616                  | \$1,382,477              | \$2,538,139  | 47.9                      | 5                       |
| Bldg Material & Supplies Dealers              | 4441     | \$3,210,857                  | \$1,128,582              | \$2,082,275  | 48.0                      | 4                       |
| Lawn & Garden Equip & Supply Stores           | 4442     | \$709,759                    | \$253,895                | \$455,864    | 47.3                      | 1                       |
| Food & Beverage Stores                        | 445      | \$15,480,120                 | \$2,957,154              | \$12,522,966 | 67.9                      | 5                       |
| Grocery Stores                                | 4451     | \$12,587,706                 | \$668,777                | \$11,918,929 | 89.9                      | 3                       |
| Specialty Food Stores                         | 4452     | \$833,830                    | \$0                      | \$833,830    | 100.0                     | 0                       |
| Beer, Wine & Liquor Stores                    | 4453     | \$2,058,584                  | \$2,288,377              | -\$229,793   | -5.3                      | 2                       |
| Health & Personal Care Stores                 | 446,4461 | \$9,360,274                  | \$3,625,054              | \$5,735,220  | 44.2                      | 4                       |
| Gasoline Stations                             | 447,4471 | \$10,740,367                 | \$15,028,609             | -\$4,288,242 | -16.6                     | 4                       |
| Clothing & Clothing Accessories Stores        | 448      | \$6,438,093                  | \$850,335                | \$5,587,758  | 76.7                      | 6                       |
| Clothing Stores                               | 4481     | \$4,572,593                  | \$723,156                | \$3,849,437  | 72.7                      | 5                       |
| Shoe Stores                                   | 4482     | \$862,281                    | \$0                      | \$862,281    | 100.0                     | 0                       |
| Jewelry, Luggage & Leather Goods Stores       | 4483     | \$1,003,219                  | \$127,179                | \$876,040    | 77.5                      | 1                       |
| Sporting Goods, Hobby, Book & Music Stores    | 451      | \$2,973,496                  | \$287,730                | \$2,685,766  | 82.4                      | 3                       |
| Sporting Goods/Hobby/Musical Instr Stores     | 4511     | \$2,349,828                  | \$287,730                | \$2,062,098  | 78.2                      | 3                       |
| Book, Periodical & Music Stores               | 4512     | \$623,668                    | \$0                      | \$623,668    | 100.0                     | 0                       |
| General Merchandise Stores                    | 452      | \$24,754,277                 | \$920,424                | \$23,833,853 | 92.8                      | 1                       |
| Department Stores Excluding Leased Depts.     | 4521     | \$7,554,142                  | \$920,424                | \$6,633,718  | 78.3                      | 1                       |
| Other General Merchandise Stores              | 4529     | \$17,200,135                 | \$0                      | \$17,200,135 | 100.0                     | 0                       |
| Miscellaneous Store Retailers                 | 453      | \$2,867,430                  | \$1,426,528              | \$1,440,902  | 33.6                      | 20                      |
| Florists                                      | 4531     | \$176,253                    | \$191,248                | -\$14,995    | -4.1                      | 2                       |
| Office Supplies, Stationery & Gift Stores     | 4532     | \$747,635                    | \$366,690                | \$380,945    | 34.2                      | 6                       |
| Used Merchandise Stores                       | 4533     | \$275,377                    | \$502,520                | -\$227,143   | -29.2                     | 7                       |
| Other Miscellaneous Store Retailers           | 4539     | \$1,668,165                  | \$366,070                | \$1,302,095  | 64.0                      | 5                       |
| Nonstore Retailers                            | 454      | \$9,176,010                  | \$2,616,022              | \$6,559,988  | 55.6                      | 5                       |
| Electronic Shopping & Mail-Order Houses       | 4541     | \$7,613,098                  | \$0                      | \$7,613,098  | 100.0                     | 0                       |
| Vending Machine Operators                     | 4542     | \$481,500                    | \$491,473                | -\$9,973     | -1.0                      | 2                       |
| Direct Selling Establishments                 | 4543     | \$1,081,412                  | \$2,124,549              | -\$1,043,137 | -32.5                     | 3                       |
| Food Services & Drinking Places               | 722      | \$12,510,898                 | \$14,470,806             | -\$1,959,908 | -7.3                      | 17                      |
| Full-Service Restaurants                      | 7221     | \$4,696,566                  | \$3,410,505              | \$1,286,061  | 15.9                      | 5                       |
| Limited-Service Eating Places                 | 7222     | \$6,372,697                  | \$10,725,282             | -\$4,352,585 | -25.5                     | 9                       |
| Special Food Services                         | 7223     | \$578,858                    | \$0                      | \$578,858    | 100.0                     | 0                       |
| Drinking Places - Alcoholic Beverages         | 7224     | \$862,777                    | \$335,019                | \$527,758    | 44.1                      | 3                       |

**Data Note:** Supply (retail sales) estimates sales to consumers by establishments. Sales to businesses are excluded. Demand (retail potential) estimates the expected amount spent by consumers at retail establishments. Supply and demand estimates are in current dollars. The Leakage/Surplus Factor presents a snapshot of retail opportunity. This is a measure of the relationship between supply and demand that ranges from +100 (total leakage) to -100 (total surplus). A positive value represents 'leakage' of retail opportunity outside the trade area. A negative value represents a surplus of retail sales, a market where customers are drawn in from outside the trade area. The Retail Gap represents the difference between Retail Potential and Retail Sales. Esri uses the North American Industry Classification System (NAICS) to classify businesses by their primary type of economic activity. Retail establishments are classified into 27 industry groups in the Retail Trade sector, as well as four industry groups within the Food Services & Drinking Establishments subsector. For more information on the Retail MarketPlace data, please view the methodology statement at <http://www.esri.com/library/whitepapers/pdfs/esri-data-retail-marketplace.pdf>.

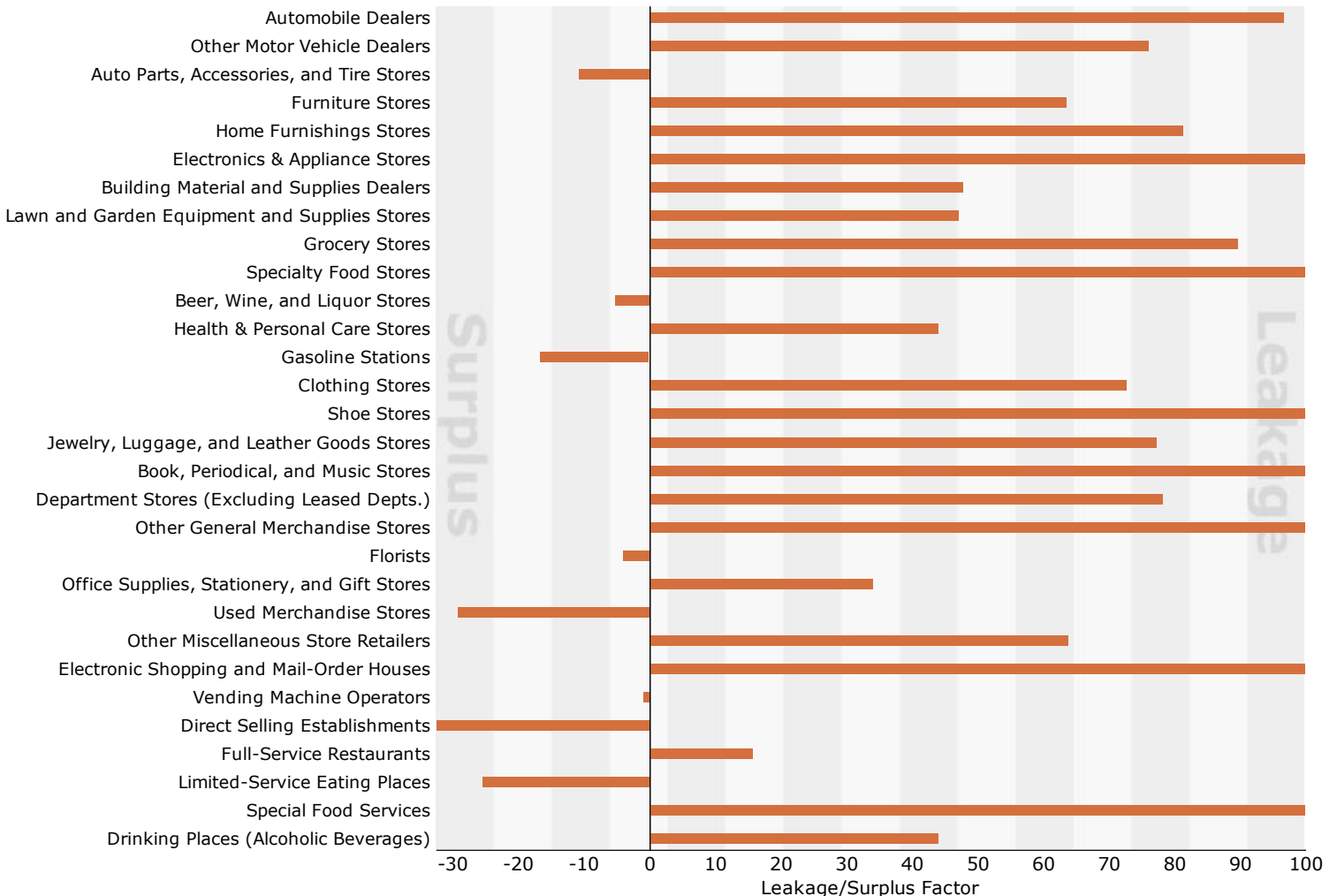
**Source:** Esri and Dun & Bradstreet. Copyright 2014 Dun & Bradstreet, Inc. All rights reserved.

Holly township  
 Holly township, MI (2612538720)  
 Geography: County Subdivision

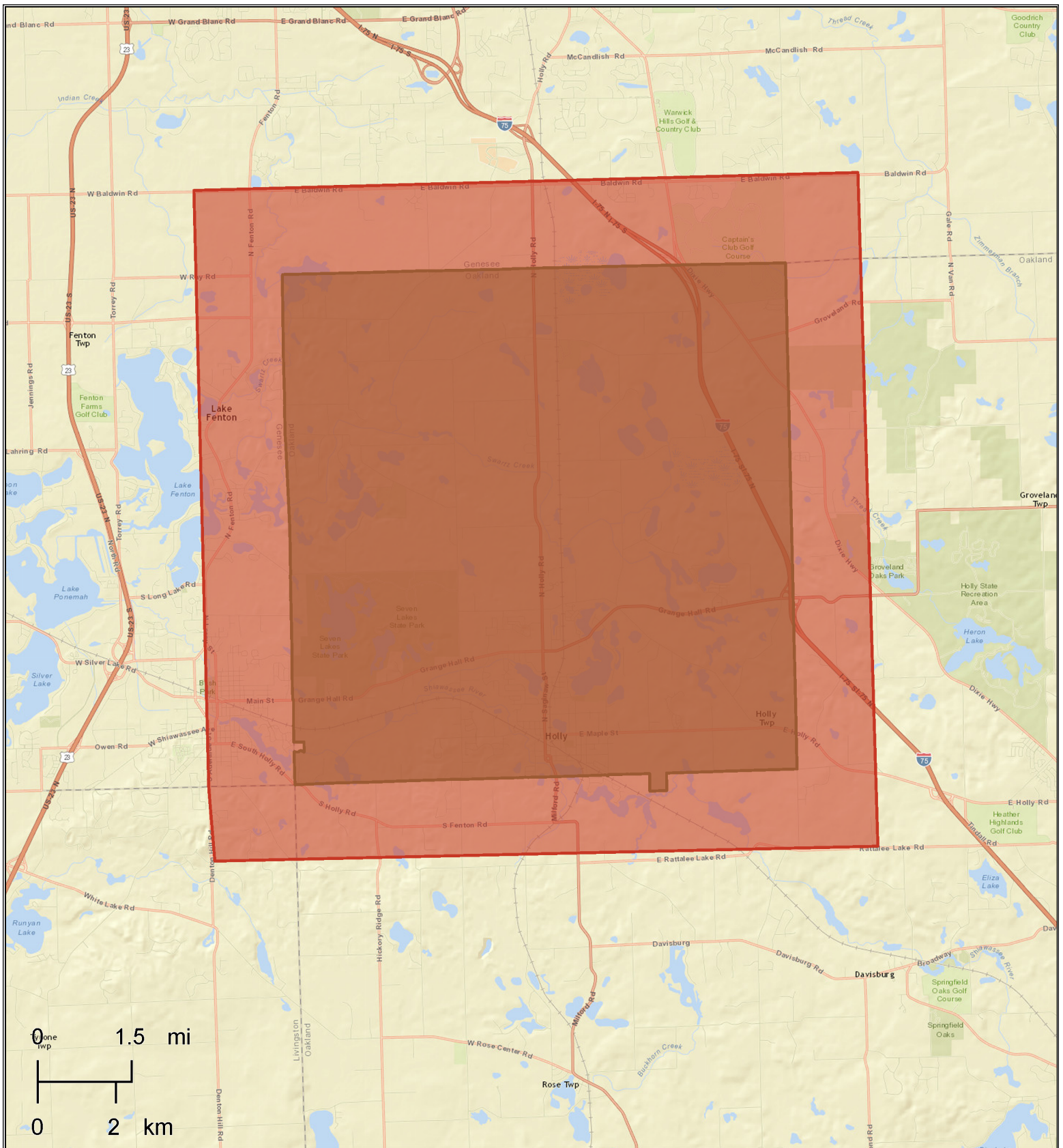
## Leakage/Surplus Factor by Industry Subsector



## Leakage/Surplus Factor by Industry Group









# Retail MarketPlace Profile

Holly Township Plus One Mile Buffer  
Area: 63.71 square miles

Latitude: 42.82931240  
Longitude: -83.6298800

## Summary Demographics

|                               |          |
|-------------------------------|----------|
| 2014 Population               | 23,507   |
| 2014 Households               | 9,355    |
| 2014 Median Disposable Income | \$47,746 |
| 2014 Per Capita Income        | \$29,588 |

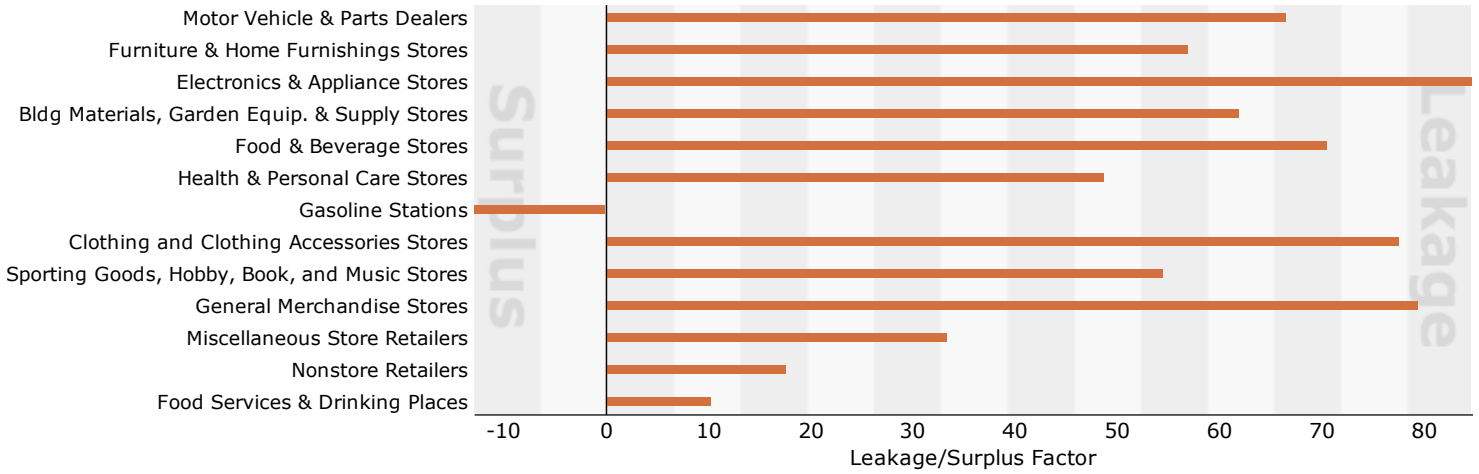
| Industry Summary                    | NAICS | Demand<br>(Retail Potential) | Supply<br>(Retail Sales) | Retail Gap    | Leakage/Surplus<br>Factor | Number of<br>Businesses |
|-------------------------------------|-------|------------------------------|--------------------------|---------------|---------------------------|-------------------------|
| Total Retail Trade and Food & Drink | 44-45 | \$293,618,710                | \$113,152,623            | \$180,466,087 | 44.4                      | 154                     |
| Total Retail Trade                  | 44-45 | \$264,342,083                | \$89,376,537             | \$174,965,546 | 49.5                      | 123                     |
| Total Food & Drink                  | 722   | \$29,276,628                 | \$23,776,085             | \$5,500,543   | 10.4                      | 31                      |

| Industry Group                                | NAICS    | Demand<br>(Retail Potential) | Supply<br>(Retail Sales) | Retail Gap   | Leakage/Surplus<br>Factor | Number of<br>Businesses |
|---|----------|------------------------------|--------------------------|--------------|---------------------------|-------------------------|
| Motor Vehicle & Parts Dealers                 | 441      | \$52,738,312                 | \$10,556,991             | \$42,181,321 | 66.6                      | 10                      |
| Automobile Dealers                            | 4411     | \$45,445,670                 | \$7,038,075              | \$38,407,595 | 73.2                      | 3                       |
| Other Motor Vehicle Dealers                   | 4412     | \$3,384,114                  | \$729,067                | \$2,655,047  | 64.5                      | 4                       |
| Auto Parts, Accessories & Tire Stores         | 4413     | \$3,908,528                  | \$2,789,850              | \$1,118,678  | 16.7                      | 4                       |
| Furniture & Home Furnishings Stores           | 442      | \$5,170,632                  | \$1,417,894              | \$3,752,738  | 57.0                      | 5                       |
| Furniture Stores                              | 4421     | \$3,196,265                  | \$712,252                | \$2,484,013  | 63.6                      | 3                       |
| Home Furnishings Stores                       | 4422     | \$1,974,368                  | \$705,642                | \$1,268,726  | 47.3                      | 2                       |
| Electronics & Appliance Stores                | 443      | \$7,277,933                  | \$600,056                | \$6,677,877  | 84.8                      | 3                       |
| Bldg Materials, Garden Equip. & Supply Stores | 444      | \$9,204,708                  | \$2,161,406              | \$7,043,302  | 62.0                      | 10                      |
| Bldg Material & Supplies Dealers              | 4441     | \$7,555,281                  | \$1,762,703              | \$5,792,578  | 62.2                      | 8                       |
| Lawn & Garden Equip & Supply Stores           | 4442     | \$1,649,427                  | \$398,703                | \$1,250,724  | 61.1                      | 2                       |
| Food & Beverage Stores                        | 445      | \$35,835,996                 | \$6,159,033              | \$29,676,963 | 70.7                      | 12                      |
| Grocery Stores                                | 4451     | \$29,123,306                 | \$1,274,441              | \$27,848,865 | 91.6                      | 6                       |
| Specialty Food Stores                         | 4452     | \$1,929,166                  | \$809,365                | \$1,119,801  | 40.9                      | 3                       |
| Beer, Wine & Liquor Stores                    | 4453     | \$4,783,525                  | \$4,075,226              | \$708,299    | 8.0                       | 4                       |
| Health & Personal Care Stores                 | 446,4461 | \$21,714,610                 | \$7,443,026              | \$14,271,584 | 48.9                      | 7                       |
| Gasoline Stations                             | 447,4471 | \$24,824,188                 | \$32,195,822             | -\$7,371,634 | -12.9                     | 8                       |
| Clothing & Clothing Accessories Stores        | 448      | \$15,116,710                 | \$1,900,842              | \$13,215,868 | 77.7                      | 11                      |
| Clothing Stores                               | 4481     | \$10,737,830                 | \$1,611,589              | \$9,126,241  | 73.9                      | 9                       |
| Shoe Stores                                   | 4482     | \$2,013,350                  | \$0                      | \$2,013,350  | 100.0                     | 0                       |
| Jewelry, Luggage & Leather Goods Stores       | 4483     | \$2,365,529                  | \$289,252                | \$2,076,277  | 78.2                      | 1                       |
| Sporting Goods, Hobby, Book & Music Stores    | 451      | \$6,948,765                  | \$2,041,978              | \$4,906,787  | 54.6                      | 8                       |
| Sporting Goods/Hobby/Musical Instr Stores     | 4511     | \$5,494,406                  | \$918,958                | \$4,575,448  | 71.3                      | 6                       |
| Book, Periodical & Music Stores               | 4512     | \$1,454,359                  | \$1,123,019              | \$331,340    | 12.9                      | 2                       |
| General Merchandise Stores                    | 452      | \$57,427,587                 | \$6,569,773              | \$50,857,814 | 79.5                      | 3                       |
| Department Stores Excluding Leased Depts.     | 4521     | \$17,633,608                 | \$6,409,327              | \$11,224,281 | 46.7                      | 2                       |
| Other General Merchandise Stores              | 4529     | \$39,793,979                 | \$160,446                | \$39,633,533 | 99.2                      | 1                       |
| Miscellaneous Store Retailers                 | 453      | \$6,654,015                  | \$3,313,180              | \$3,340,835  | 33.5                      | 36                      |
| Florists                                      | 4531     | \$415,668                    | \$293,430                | \$122,238    | 17.2                      | 4                       |
| Office Supplies, Stationery & Gift Stores     | 4532     | \$1,745,689                  | \$703,642                | \$1,042,047  | 42.5                      | 10                      |
| Used Merchandise Stores                       | 4533     | \$644,191                    | \$752,944                | -\$108,753   | -7.8                      | 10                      |
| Other Miscellaneous Store Retailers           | 4539     | \$3,848,467                  | \$1,563,164              | \$2,285,303  | 42.2                      | 12                      |
| Nonstore Retailers                            | 454      | \$21,428,626                 | \$15,016,537             | \$6,412,089  | 17.6                      | 9                       |
| Electronic Shopping & Mail-Order Houses       | 4541     | \$17,755,219                 | \$11,368,604             | \$6,386,615  | 21.9                      | 1                       |
| Vending Machine Operators                     | 4542     | \$1,114,336                  | \$966,670                | \$147,666    | 7.1                       | 3                       |
| Direct Selling Establishments                 | 4543     | \$2,559,071                  | \$2,681,264              | -\$122,193   | -2.3                      | 6                       |
| Food Services & Drinking Places               | 722      | \$29,276,628                 | \$23,776,085             | \$5,500,543  | 10.4                      | 31                      |
| Full-Service Restaurants                      | 7221     | \$10,984,644                 | \$4,029,194              | \$6,955,450  | 46.3                      | 7                       |
| Limited-Service Eating Places                 | 7222     | \$14,893,030                 | \$18,667,358             | -\$3,774,328 | -11.2                     | 17                      |
| Special Food Services                         | 7223     | \$1,362,670                  | \$274,633                | \$1,088,037  | 66.5                      | 1                       |
| Drinking Places - Alcoholic Beverages         | 7224     | \$2,036,284                  | \$804,900                | \$1,231,384  | 43.3                      | 6                       |

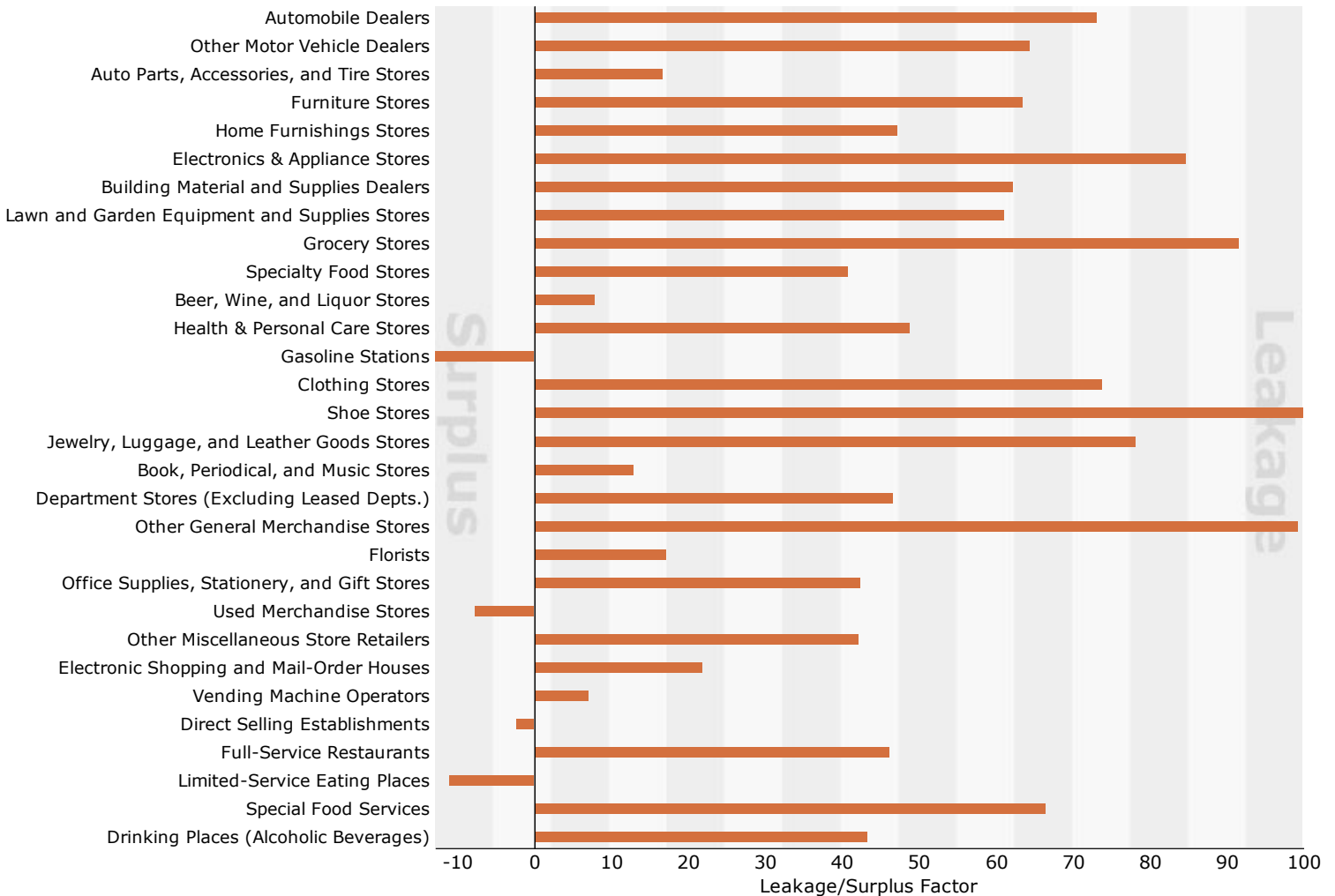
**Data Note:** Supply (retail sales) estimates sales to consumers by establishments. Sales to businesses are excluded. Demand (retail potential) estimates the expected amount spent by consumers at retail establishments. Supply and demand estimates are in current dollars. The Leakage/Surplus Factor presents a snapshot of retail opportunity. This is a measure of the relationship between supply and demand that ranges from +100 (total leakage) to -100 (total surplus). A positive value represents 'leakage' of retail opportunity outside the trade area. A negative value represents a surplus of retail sales, a market where customers are drawn in from outside the trade area. The Retail Gap represents the difference between Retail Potential and Retail Sales. Esri uses the North American Industry Classification System (NAICS) to classify businesses by their primary type of economic activity. Retail establishments are classified into 27 industry groups in the Retail Trade sector, as well as four industry groups within the Food Services & Drinking Establishments subsector. For more information on the Retail MarketPlace data, please view the methodology statement at <http://www.esri.com/library/whitepapers/pdfs/esri-data-retail-marketplace.pdf>.

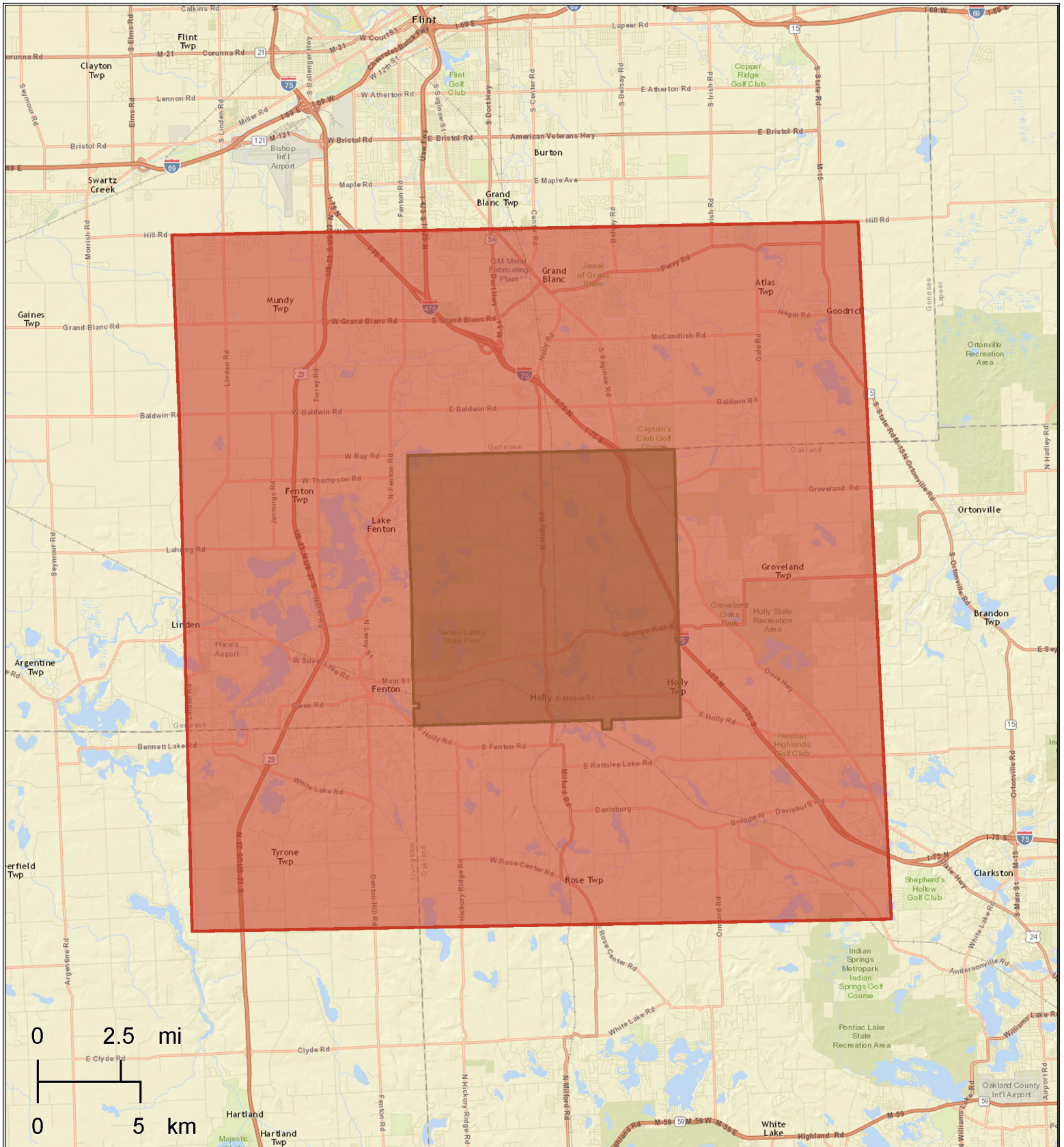
**Source:** Esri and Dun & Bradstreet. Copyright 2014 Dun & Bradstreet, Inc. All rights reserved.

## Leakage/Surplus Factor by Industry Subsector



## Leakage/Surplus Factor by Industry Group







# Retail MarketPlace Profile

Five Mile Buffer  
Area: 244.22 square miles

Latitude: 42.83130734  
Longitude: -83.6355198

## Summary Demographics

|                               |          |
|-------------------------------|----------|
| 2014 Population               | 113,697  |
| 2014 Households               | 44,667   |
| 2014 Median Disposable Income | \$49,290 |
| 2014 Per Capita Income        | \$30,975 |

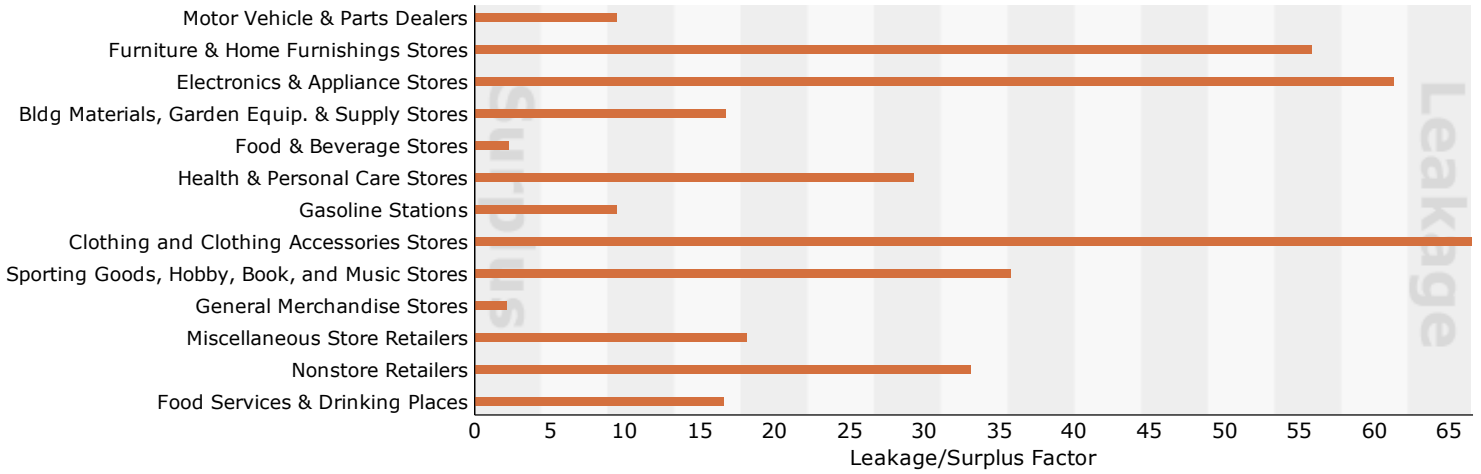
| Industry Summary                    | NAICS     | Demand<br>(Retail Potential) | Supply<br>(Retail Sales) | Retail Gap    | Leakage/Surplus<br>Factor | Number of<br>Businesses |
|-------------------------------------|-----------|------------------------------|--------------------------|---------------|---------------------------|-------------------------|
| Total Retail Trade and Food & Drink | 44-45,722 | \$1,453,509,423              | \$1,074,713,434          | \$378,795,989 | 15.0                      | 784                     |
| Total Retail Trade                  | 44-45     | \$1,307,730,594              | \$970,600,213            | \$337,130,381 | 14.8                      | 648                     |
| Total Food & Drink                  | 722       | \$145,778,829                | \$104,113,222            | \$41,665,607  | 16.7                      | 136                     |

| Industry Group                                | NAICS    | Demand<br>(Retail Potential) | Supply<br>(Retail Sales) | Retail Gap   | Leakage/Surplus<br>Factor | Number of<br>Businesses |
|---|----------|------------------------------|--------------------------|--------------|---------------------------|-------------------------|
| Motor Vehicle & Parts Dealers                 | 441      | \$260,292,707                | \$214,513,843            | \$45,778,864 | 9.6                       | 57                      |
| Automobile Dealers                            | 4411     | \$224,276,180                | \$198,349,289            | \$25,926,891 | 6.1                       | 24                      |
| Other Motor Vehicle Dealers                   | 4412     | \$16,620,880                 | \$5,133,289              | \$11,487,591 | 52.8                      | 14                      |
| Auto Parts, Accessories & Tire Stores         | 4413     | \$19,395,647                 | \$11,031,265             | \$8,364,382  | 27.5                      | 19                      |
| Furniture & Home Furnishings Stores           | 442      | \$25,731,857                 | \$7,285,216              | \$18,446,641 | 55.9                      | 28                      |
| Furniture Stores                              | 4421     | \$15,858,590                 | \$1,824,962              | \$14,033,628 | 79.4                      | 7                       |
| Home Furnishings Stores                       | 4422     | \$9,873,266                  | \$5,460,254              | \$4,413,012  | 28.8                      | 21                      |
| Electronics & Appliance Stores                | 443      | \$36,123,966                 | \$8,651,072              | \$27,472,894 | 61.4                      | 26                      |
| Bldg Materials, Garden Equip. & Supply Stores | 444      | \$45,539,165                 | \$32,410,209             | \$13,128,956 | 16.8                      | 50                      |
| Bldg Material & Supplies Dealers              | 4441     | \$37,347,293                 | \$28,627,528             | \$8,719,765  | 13.2                      | 40                      |
| Lawn & Garden Equip & Supply Stores           | 4442     | \$8,191,873                  | \$3,782,681              | \$4,409,192  | 36.8                      | 10                      |
| Food & Beverage Stores                        | 445      | \$177,443,322                | \$169,133,434            | \$8,309,888  | 2.4                       | 73                      |
| Grocery Stores                                | 4451     | \$144,151,846                | \$147,836,983            | -\$3,685,137 | -1.3                      | 36                      |
| Specialty Food Stores                         | 4452     | \$9,552,071                  | \$6,068,987              | \$3,483,084  | 22.3                      | 23                      |
| Beer, Wine & Liquor Stores                    | 4453     | \$23,739,405                 | \$15,227,464             | \$8,511,941  | 21.8                      | 15                      |
| Health & Personal Care Stores                 | 446,4461 | \$107,277,755                | \$58,498,639             | \$48,779,116 | 29.4                      | 52                      |
| Gasoline Stations                             | 447,4471 | \$122,131,308                | \$100,657,344            | \$21,473,964 | 9.6                       | 31                      |
| Clothing & Clothing Accessories Stores        | 448      | \$75,348,711                 | \$15,103,682             | \$60,245,029 | 66.6                      | 62                      |
| Clothing Stores                               | 4481     | \$53,576,440                 | \$9,905,900              | \$43,670,540 | 68.8                      | 45                      |
| Shoe Stores                                   | 4482     | \$10,007,501                 | \$666,096                | \$9,341,405  | 87.5                      | 2                       |
| Jewelry, Luggage & Leather Goods Stores       | 4483     | \$11,764,770                 | \$4,531,685              | \$7,233,085  | 44.4                      | 15                      |
| Sporting Goods, Hobby, Book & Music Stores    | 451      | \$34,474,638                 | \$16,272,599             | \$18,202,039 | 35.9                      | 63                      |
| Sporting Goods/Hobby/Musical Instr Stores     | 4511     | \$27,218,539                 | \$14,018,008             | \$13,200,531 | 32.0                      | 53                      |
| Book, Periodical & Music Stores               | 4512     | \$7,256,099                  | \$2,254,591              | \$5,001,508  | 52.6                      | 10                      |
| General Merchandise Stores                    | 452      | \$284,170,645                | \$272,040,751            | \$12,129,894 | 2.2                       | 17                      |
| Department Stores Excluding Leased Depts.     | 4521     | \$87,444,604                 | \$75,869,635             | \$11,574,969 | 7.1                       | 9                       |
| Other General Merchandise Stores              | 4529     | \$196,726,041                | \$196,171,115            | \$554,926    | 0.1                       | 8                       |
| Miscellaneous Store Retailers                 | 453      | \$32,882,571                 | \$22,702,404             | \$10,180,167 | 18.3                      | 140                     |
| Florists                                      | 4531     | \$2,089,157                  | \$883,142                | \$1,206,015  | 40.6                      | 10                      |
| Office Supplies, Stationery & Gift Stores     | 4532     | \$8,665,757                  | \$7,164,477              | \$1,501,280  | 9.5                       | 40                      |
| Used Merchandise Stores                       | 4533     | \$3,205,709                  | \$2,335,385              | \$870,324    | 15.7                      | 31                      |
| Other Miscellaneous Store Retailers           | 4539     | \$18,921,948                 | \$12,319,400             | \$6,602,548  | 21.1                      | 59                      |
| Nonstore Retailers                            | 454      | \$106,313,949                | \$53,331,019             | \$52,982,930 | 33.2                      | 49                      |
| Electronic Shopping & Mail-Order Houses       | 4541     | \$87,945,974                 | \$43,270,570             | \$44,675,404 | 34.0                      | 6                       |
| Vending Machine Operators                     | 4542     | \$5,516,830                  | \$4,077,060              | \$1,439,770  | 15.0                      | 10                      |
| Direct Selling Establishments                 | 4543     | \$12,851,145                 | \$5,983,390              | \$6,867,755  | 36.5                      | 33                      |
| Food Services & Drinking Places               | 722      | \$145,778,829                | \$104,113,222            | \$41,665,607 | 16.7                      | 136                     |
| Full-Service Restaurants                      | 7221     | \$54,699,273                 | \$30,741,649             | \$23,957,624 | 28.0                      | 40                      |
| Limited-Service Eating Places                 | 7222     | \$74,017,801                 | \$67,024,604             | \$6,993,197  | 5.0                       | 67                      |
| Special Food Services                         | 7223     | \$6,831,376                  | \$2,139,382              | \$4,691,994  | 52.3                      | 5                       |
| Drinking Places - Alcoholic Beverages         | 7224     | \$10,230,379                 | \$4,207,587              | \$6,022,792  | 41.7                      | 24                      |

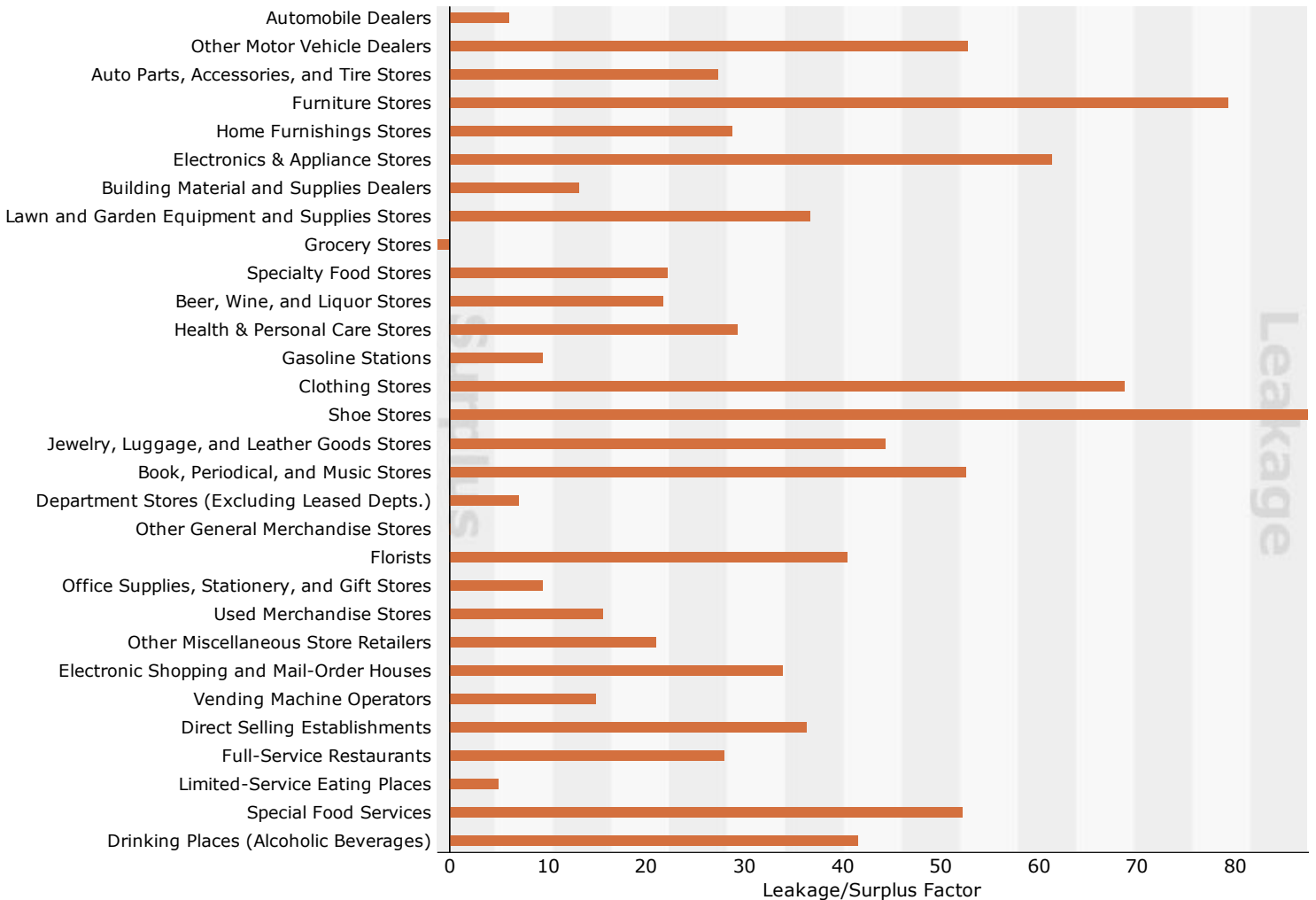
**Data Note:** Supply (retail sales) estimates sales to consumers by establishments. Sales to businesses are excluded. Demand (retail potential) estimates the expected amount spent by consumers at retail establishments. Supply and demand estimates are in current dollars. The Leakage/Surplus Factor presents a snapshot of retail opportunity. This is a measure of the relationship between supply and demand that ranges from +100 (total leakage) to -100 (total surplus). A positive value represents 'leakage' of retail opportunity outside the trade area. A negative value represents a surplus of retail sales, a market where customers are drawn in from outside the trade area. The Retail Gap represents the difference between Retail Potential and Retail Sales. Esri uses the North American Industry Classification System (NAICS) to classify businesses by their primary type of economic activity. Retail establishments are classified into 27 industry groups in the Retail Trade sector, as well as four industry groups within the Food Services & Drinking Establishments subsector. For more information on the Retail MarketPlace data, please view the methodology statement at <http://www.esri.com/library/whitepapers/pdfs/esri-data-retail-marketplace.pdf>.

**Source:** Esri and Dun & Bradstreet. Copyright 2014 Dun & Bradstreet, Inc. All rights reserved.

## Leakage/Surplus Factor by Industry Subsector



## Leakage/Surplus Factor by Industry Group



## STAFF ACKNOWLEDGMENTS



235 East Main Street, Suite 105  
Northville, MI 48167  
**mcka.com**

John Jackson, AICP ..... President  
Alexis Farrell ..... Project Manager  
Nani Wolf, AICP, CAPS ..... Project Planner / GIS and Mapping  
Ashley E. Amey ..... Project Planner  
Carrie Leitner ..... Art Director

